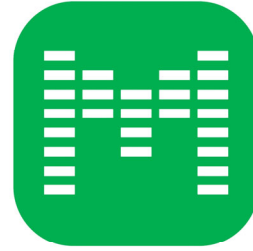




# MATRIX ESTIMATING

*"Professional Accurate Quotations"*



## MATRIX ESTIMATING

28 Parkes Street, Nelson Bay, 2315  
[cormac@matrixestimating.com.au](mailto:cormac@matrixestimating.com.au)  
Cormac Gray: 0415 798 401

4 July 2023

Bold Blueprints Construction  
Sydney  
NSW 2000

Quotation No: 20002-0B (Changes in RED below)

Attention: Mr. & Mrs. Smith

**Project: 789 Maple Road, Sydney**

Dear Mr. & Mrs. Smith,

It is with pleasure that we forward our budget quotation for the works at 789 Maple Road, Sydney, as requested. This quotation is based on accompanying marked-up document.

Our budget quotation is as follows:

<b>T02</b>	<b><u>Preliminaries</u></b>	<b>\$50,000.00</b>
1 QTY	Plant and scaffolding	\$11,000.00
1 QTY	Temporary services	\$2,000.00
1 QTY	Contract works insurances	\$4,000.00
4 QTY	Waste management	\$1,000.00
1 QTY	Project management	\$10,000.00
1 QTY	Site foremen	\$10,000.00
1 QTY	General labourer	\$6,000.00
1 QTY	Sundries and consumables	\$6,000.00
<b>T03</b>	<b><u>Demolition</u></b>	<b>\$39,000.00</b>
1.00 no	Demolition of existing	
28.76 m2	Clearing for Entry Deck	
24.29 m2	Remove Deck - 9100 Elev	
201.25 m2	Remove Existing Roof Tiles	
5.36 m2	Remove Garage Door	
3.74 m2	Remove Porch Stairs	
23.29 m2	Remove Existing Roof Framing	
4.69 m2	Remove Tiles	
7.54 m2	Remove Walls	

	38.01 m2	Remove Windows	
	6 QTY	Skip hire	
<b>T04</b>	<b><u>Groundworks - PC SUM</u></b>		<b>\$20,000.00</b>
	36.35 m2	Dig out driveway and foundations for new entry deck	
	36.35 m2	Removal and disposal soil	
	36.35 m2	Crushed rock	
	31.80 m2	Pool excavation - Rock	\$10,000.00
<b>T06</b>	<b><u>Concrete, Formwork &amp; Reo</u></b>		<b>\$11,000.00</b>
		<u>Concrete placement</u>	
	1 QTY	02 - Ground Floor	
	9.14 m3	T062 - GF - Driveway	
	0.94 m3	T063 - GF - Stairs	
		<u>Formworks</u>	
	1 QTY	02 - Ground Floor	
	5.51 m2	T072 - GF - Driveway	
	3.81 m2	T073 - GF - Stairs	
		<u>Reinforcement</u>	
	0.69 tons	T082 - GF - Driveway	
	0.07 tons	T083 - GF - Stairs	
<b>T12</b>	<b><u>Masonry - PC SUM</u></b>		<b>\$5,000.00</b>
	20.54 m2	T061 - GF - Planter Walls	
<b>T16</b>	<b><u>Roofing</u></b>		<b>\$35,000.00</b>
	271.99 m2	Roof Area - Resheeting	
	50.31 m	T164 - Flashings	
	34.00 m	T162 - Gutters and downpipes	
<b>T17</b>	<b><u>Façade Systems</u></b>		<b>\$30,000.00</b>
	146.23 m2	T171 - GF - Cladding to existing brick (incl battens)	
<b>T18</b>	<b><u>Windows and doors</u></b>		<b>\$57,000.00</b>
	1.00 qty	WD01 - Aluminium Framed Windows - 1.80mHx2.40mW	
	1.00 qty	WD02 - Aluminium Framed Door - 2.10mHx2.90mW	
	1.00 qty	WD03 - Aluminium Framed Door - 2.10mHx2.57mW	
	1.00 qty	WD04 - Aluminium Framed Door - 2.10mHx2.11mW	
	1.00 qty	WD05 - Aluminium Framed Windows - 0.60mHx3.00mW	
	1.00 qty	WD06 - Aluminium Framed Windows - 2.10mHx2.41mW	
	1.00 qty	WD07 - Aluminium Framed Door - 2.10mHx2.41mW	
	1.00 qty	WD08 - Aluminium Framed Door - 2.10mHx2.41mW	
	1.00 qty	WD09 - Aluminium Framed Windows - 1.20mHx1.20mW	
	1.00 qty	WD10 - Aluminium Framed Windows - 1.20mHx1.20mW	
	1.00 qty	WD11 - Aluminium Framed Windows - 0.60mHx1.80mW	
	10.79 m2	WD12 - Aluminium Framed Windows to lower floor	\$7,000.00
	6.46 m2	WD13 - Aluminium Framed Doors to lower floor	\$6,000.00
	1.00 qty	New Garage door	\$3,000.00
	1.00 qty	New Front door	\$2,000.00
<b>T19</b>	<b><u>Glazing</u></b>		<b>\$15,000.00</b>
	2.00 qty	T191 - Skylights	
	2.00 qty	Replace existing skylights	\$4,000.00
	17.54 m2	T192 - Balustrade for deck	

<b>T20</b>	<b><u>Carpentry</u></b>	<b>\$99,000.00</b>
	<u>Decking at rear</u>	
12.00 no	T201 - GF - 100x100 Timber Post - 3.5mH	
105.99 m	T205 - GF - 240x45 H3 F7	
140.06 m	T206 - GF - 190x45 H3 F7 @ 450 cts	
60.90 m2	T202 - GF - Timber Deck	
2.37 m	T203 - GF - Balustrade	
0.71 m2	Decking stairs	
	<u>New walls</u>	
5.70 m2	T204A - GF - 90x45 MGP10 - <1.00mH	
13.43 m2	T204B - GF - 90x45 MGP10 - 2.75mH	
3.87 m2	T204D - GF - 90x45 MGP10 - 2.60mH	
	<u>Decking at entrance</u>	
48.70 m	T207 - GF - 140x45 H3 F7 @ 450mm cts	
8.00 no	T208 - GF - Deck Piers	
19.87 m2	T202 - GF - Timber Deck	
0.71 m2	Decking stairs	
	<u>Roof</u>	
153.80 m	T201 - RF - 140x45 MGP10 @ 600mm cts	
49.89 m	T202 - RF - 300x45 LVL13	
23.29 m2	T203 - RF - Roof Battens	
39.96 m	T204 - Fascia and Soffit	
2.97 m2	T205 - Decorative framing at Entry	
36.58 m2	Pergola roof - insulated panels	
	<u>Finishing Carpentry</u>	
28.10 lm	Skirting	
	<u>Architraves</u>	
1.00 qty	WD01 - Aluminium Framed Windows - 1.80mHx2.40mW	
1.00 qty	WD02 - Aluminium Framed Door - 2.10mHx2.90mW	
1.00 qty	WD03 - Aluminium Framed Door - 2.10mHx2.57mW	
1.00 qty	WD04 - Aluminium Framed Door - 2.10mHx2.11mW	
1.00 qty	WD05 - Aluminium Framed Windows - 0.60mHx3.00mW	
1.00 qty	WD06 - Aluminium Framed Windows - 2.10mHx2.41mW	
1.00 qty	WD07 - Aluminium Framed Door - 2.10mHx2.41mW	
1.00 qty	WD08 - Aluminium Framed Door - 2.10mHx2.41mW	
1.00 qty	WD09 - Aluminium Framed Windows - 1.20mHx1.20mW	
1.00 qty	WD10 - Aluminium Framed Windows - 1.20mHx1.20mW	
1.00 qty	WD11 - Aluminium Framed Windows - 0.60mHx1.80mW	
24.80 lm	WD12 - Aluminium Framed Windows to lower floor	\$800.00
11.30 lm	WD13 - Aluminium Framed Doors to lower floor	\$300.00
<b>T27</b>	<b><u>Tiling, slab and paving - PC SUM</u></b>	<b>\$5,000.00</b>
17.46 m2	T102 - Paving to swimming pool - Incl PC SUM \$60/m <sup>2</sup> for supply	
<b>T29</b>	<b><u>Painting works</u></b>	<b>\$12,000.00</b>
146.23 m2	Painting to new cladding	
<b>T32</b>	<b><u>Hydraulics - PC SUM</u></b>	<b>\$6,000.00</b>
<b>T33</b>	<b><u>Drainage - PC SUM</u></b>	<b>\$9,000.00</b>

<b>T34</b>	<b><u>Electrical installation - PC SUM</u></b>	<b>\$6,000.00</b>
<b>T37</b>	<b><u>Exterior Elements</u></b>	<b>\$94,000.00</b>
24.36 lm	Fencing around pool	
1.00 qty	Swimming pool - PC SUM	
1.00 qty	Bead Crete finish to pool	\$6,000.00
1.00 qty	Heating system for pool - PC SUM	\$7,000.00
<b>Commercial Discount - 2.5%</b>		<b>-\$12,000.00</b>
<b>Sub Total – excluding GST</b>		<b>\$481,000.00</b>
<b>Goods and Services Tax @ 10%</b>		<b>\$48,100.00</b>
<b>Total – including GST</b>		<b>\$432,900.00</b>

Please note:

1. **Prime Cost and Provisional Item Summary**

All prime cost items are to be selected and supplies by the client. Prior to ordering PC items, selected items specifications are to be reviewed by Builder, Architect, and the relevant trade to ensure items comply with general requirements, Basix commitments and are suitable for their intended use.

All Provisional Sum items are estimated allowances that cannot be included in the tender as a fixed sum for varying reasons, such as (but not limited to):

- Potential unforeseen circumstances such as encountering rock within the zone of influence during excavation of structural footings, drainage lines, etc;
- Client selection to be confirmed on site;
- Details missing/unconfirmed at time of tender submission.

All Provisional Sum allowances listed are subject to Builders margin and GST.

These items will be completed as required to comply with all relevant engineering, architectural plans, project specifications, manufacturers specifications and any applicable regulatory authorities, including the appointed PCA and all relevant Australian Standards.

2. **Mark up on Variations, Provisional Sums and Final Costs**

A Mark Up of 15% will be applied to any variation requested by either the client or Architect. The margin is also applicable to any works that are required to comply with Australian standards or the requests/requirements of any regulatory authority. All variations will be written and submitted to the client and Architect for approval. Work relating to that variation will not commence until the relative variation is signed and approved by both parties or their representative.

A Mark Up of 15% will also be applicable to any Provisional Sum and final cost amounts that form part of Bold Blueprints Construction contract, or items Bold Blueprints Construction will provide warranty for the completion of the project. Should works be carried out by a contractor or supplier

that are not part of the Bold Blueprints Construction. contract, then these works would not attract a markup or margin. These items would require a separate contract with the Client, and the contractor or supplier would need to provide their own warranty on the works completed by them.

3. **Schedule of Rates**

Builder, Supervisor, Leading Hand	\$ 90/hour
Concreter	\$ 70/hour
Structural Steelworker	\$ 85/hour
Bricklayer	\$ 70/hour
Carpenter	\$ 80/hour
Roofer	\$ 75/hour
Glazier	\$ 65/hour
Tiler	\$ 65/hour
Plumber	\$ 90/hour
Electrician	\$ 95/hour
Painter	\$ 60/hour
Plasterer	\$ 65/hour
labourer / Apprentice	\$ 50/hour

4. **Commencement and Completion**

**Commencement date: TBA**

At the time of this proposal, Bold Blueprints Construction has capacity to service your project. Once we have signed the 'Building Works Contract' and the cooling off period has expired, Bold Blueprints Construction will order the iCare Insurance required for the project. On receiving the iCare insurance certificate, a copy will be sent to the Client and Project Certifier. The project cannot commence until the Certifier issues the Construction Certificate and all notice periods have expired.

**Completion date: 20 weeks from actual Commencement Date**

The project is estimated to take a construction period of 20 working weeks. Being 7am – 3:30pm 5 days a week. Inclement weather, Scope of work changes or circumstances outside of Bold Blueprints Construction control may impact this time frame. Bold Blueprints Construction will update the Owner if delays impact our nominated Time Frame. Bold Blueprints Construction will liaise and co-ordinate with the Owner, trades, and authorities to ensure an efficient build time and minimise any delays.

5. **Exclusions and Client Responsibilities**

Unless an item is specifically detailed this Tender, then that item has not been included in this project.

Excluded items

*Project Specific*

- No management, removal or disposal of asbestos has been allowed for
- No Fire rating to ceilings, walls, doors or floors has been allowed for
- All Authority applications and fees are excluded

- No Guarantee on oversize doors
- LVLs and timber materials are subject to price increases and availability
- Roofing – Metal Fascia Guttering and Downpipes - Nil allowance has been made for clip lock roof sheeting. Please note the Colorbond MATT colour range and ultra-range will be subject to an added cost
- Electrical - Nil allowance has been made for new circuits, tiger tail install/rental/removal of meter upgrades to mains
- Plumbing - Nil allowance has been made for upgrading existing sewerage or any gas outlet. Any PC items, fittings, or fixtures to be supplied by owner.

*General Exclusions*

- Night works
- We are not responsible for the quality or performance of client supplied materials
- Expenditure beyond allowances and inclusions in this tender
- Connection to Service mains and pay TV
- Fees and charges incurred by third party authorities and regulatory bodies
- Permits and applications to Local Council
- Renewal or upgrades to existing Services unless otherwise stated
- PCA fees and charges
- Architectural or Designer fees and charges
- Engineering and consultant's fees and charges
- Surveyor and set out costs as required for the project
- Anything listed as By Owner in the Scope of Works
- Anything not specifically marked as Included or Provisional Sum in the scope of works
- No allowance included for any works not shown on the markup drawings
- 90mm cove cornice to newly renovated walls and ceiling junctions.

6. **Notes and Requirements**

Where an agreement has been made that the owner shall carry out certain work or arrange others to carry out works during the period of Bold Blueprints Construction contract, then such works will be carried out in accordance with Bold Blueprints Construction's requirements and will not hinder the progress of trades that come under Bold Blueprints Construction's control. This includes the requirement that all nominated contractors conform to the site rules and WHS Site Safety Plan. As the PCBU in control of the site, Bold Blueprints Construction has the responsibility of ensuring Safety and Compliance to WHS Legislation. Any person not conforming to WHS requirements will be removed from site.

Acceptance of Bold Blueprints Construction's proposal is deemed to be acceptance of Sub contractors and supplies terms and conditions.

Progress Payment Schedule to comply with relevant Building Contract utilised for the project. Determined and provided with Contract Documentation.

All items to be supplied by the Owners of their nominated Contractors such as PC selections, joinery plans, Colour scheme and related product specifications are to be provided prior to the project

Commencement Date to ensure an efficient and timely construction process.

7. **General and Preliminaries**

All works to be completed in accordance with BCA, current Australian Standards. In addition, works will be completed in accordance with relevant third-party authorities and the local council requirements as outlined in the DA Consent.

Prior to construction, Bold Blueprints Construction will supply and erect site fencing and signage in accordance with the Development Application Consent. Provide Workers Compensation for all workers. Where subcontractors are engaged to complete the works, we will ensure said contractors hold the appropriate licence, workers compensation/injury illness and public liability insurance. Bold Blueprints Construction will supply and pay superannuation entitlements for all workers. And supply public liability and Builders Works insurance for the duration of this project.

Provide site supervision and construction management to co-ordinate project and liaise with owners, architects, subcontractors, suppliers, and relevant authorities for duration of project from commencement to completion of the works as outlined in this tender.

Existing facilities to be used for duration of the project, including fresh water, power, and amenities. Nil allowances for additional facilities.

Survey site and set out markers to indicate building lines and boundaries as required. Erect building line profiles and set out project ready for excavation.

Apply for and secure Home Warranty Insurance for the project. Application will be made on the day of contract signing.

Nil Provision for work permits or fees and charges from third party authorities such as, but not limited too; Council, Sydney Water, Jemena etc. Any such charges will be included as a variation or made payable direct to the third-party owner.

Provide protection to the existing premises. Ensure existing premises are kept secure and the areas affected by the building works are to be kept weather tight, clean, and tidy for the duration of the project.

8. **Demolition**

Demolition of existing structure and materials as described in the tender documentation and architectural plans to facilitate set out and excavation. The residence will be kept secure and weather tight for the duration of the project. Dust and noise are unavoidable in most demolition situations. The work location can often be dangerous, so to be sure to have young children and pets out of the work area and an unobstructed path cleared through your home to the outdoors.

Additional demolition may be required other than shown on plan to allow access for plant and equipment to facilitate installation of structural components of the project.



Site works and property clearing includes removal of trees, brush and surface covering such as lawn and pavers from property within limits of disturbance and as defined for removal of site development plans. Stumps to be ground or removed per Builder's discretion and debris removed from property. Live trees that are not called out for removal shall remain. Trees that have been identified and marked for protection in the arborist report on in the conditions of consent will have tree protection zones established in accordance with the Arborist and consent conditions.

9. **Excavation, Site Clearing, Surface Preparation, and soil removal**

A provisional sum has been allowed to excavate for footings, foundations, and slabs as per architectural and engineering sketches provided. Includes excavation for service line and connection points within the property, a visual inspection will be required by plumber and electrician prior to excavation and once services have been located. If rock is encountered within the excavation, consultation with the Engineer will be required before proceeding with the excavation. No allowance to excavate for underground consumer or service mains into the property. Unless otherwise instructed all calculated for excavation in VENM other than rock.

Circumstances not considered or included are:

- Rock
- Soft/reactive clays
- Unsuitable or unstable soil conditions
- Hidden/unforeseen wells, tanks, pits etc.
- Disturbance of services hidden in area of excavation
- Access restrictions for plant and equipment

While all care will be taken during the excavation process Bold Blueprints Construction does not accept responsibility for damage that may occur to footpaths, driveways, or underground services.

Additional works maybe required depending on site and soil conditions. Additional charges may be applicable.

10. **Scaffolding**

Allowance has been made for the supply and build + 24 week hire including dismantle and transportation of external scaffolding required around perimeter of property.

Supply, build and movement of internal mobile scaffold for the duration of the Build.

An ongoing cost per week may incur if the build requires the use of external scaffold past the three (6) month allocated time. Inclement weather, scope of work changes or circumstances outside of Bold Blueprints Construction's control may impact this time frame.

11. **Waterproofing**

Three coats of waterproofing will be applied in total complying with the Building Code of Australia

and **Australian Standards AS 3740 - Waterproofing of domestic wet areas**. Two coats to the flooring and one coat applied to the sand and cement bed.

We trust that the above quotation and information meets with your approval, however if you have any questions, or if we can be of assistance to you in any other way, please do not hesitate to contact us.

Thank you for your consideration.

Yours faithfully,

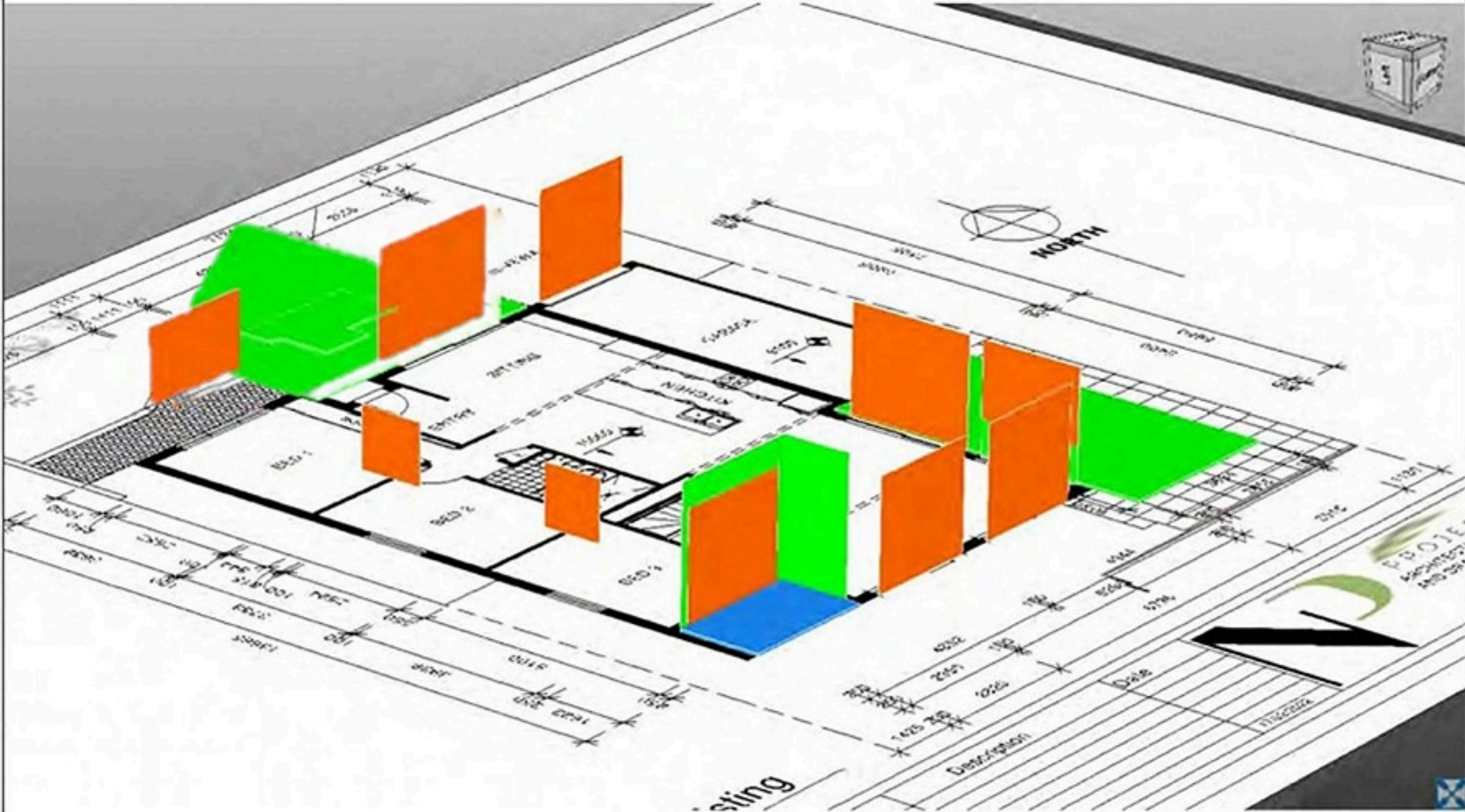
Cormac Gray



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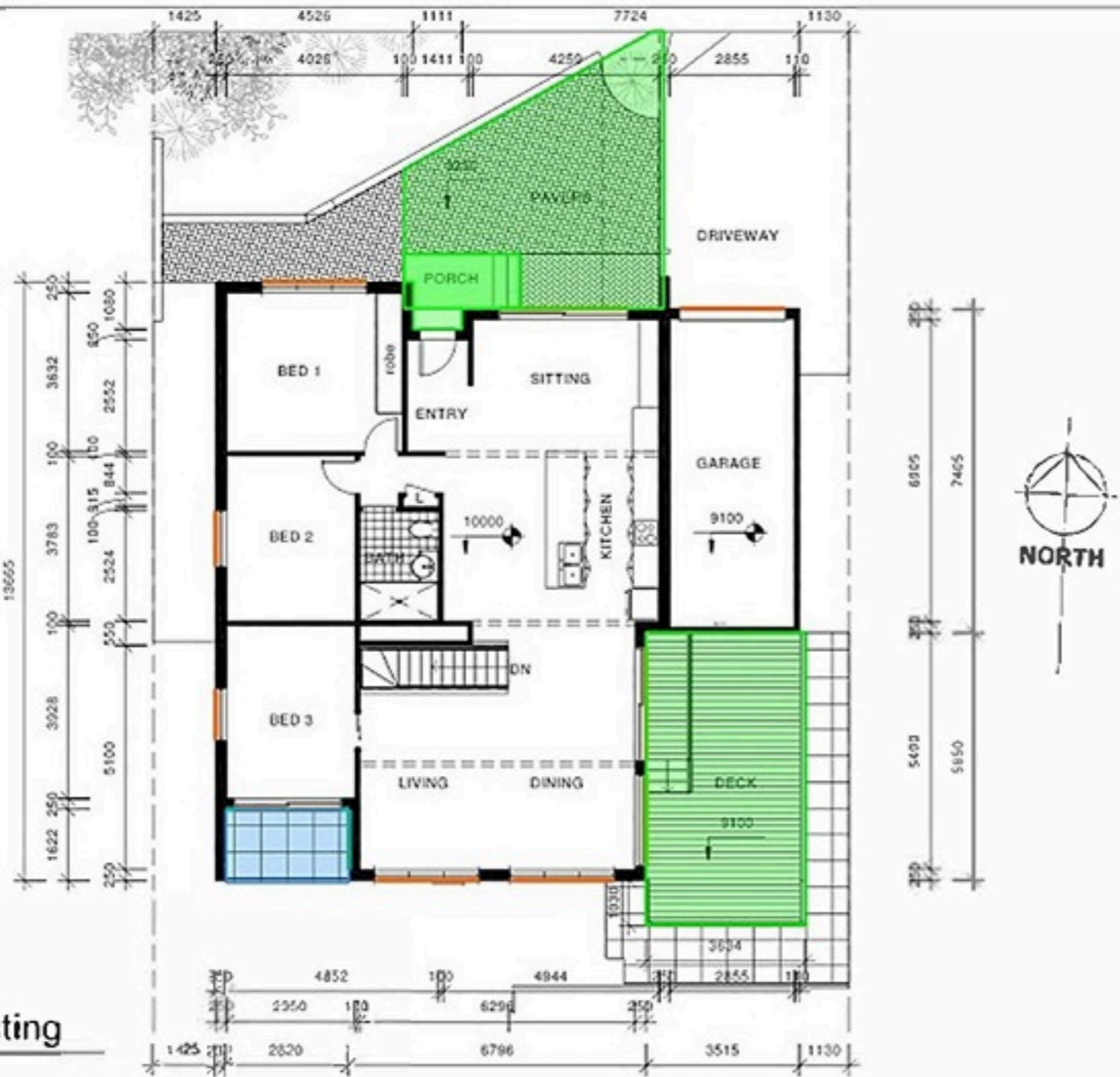
Legend

T03 - DEMOLITION	
Clearing for Entry Deck	28.76 m2
Remove Deck - 9100 Elev	24.29 m2
Remove Garage Door	5.36 m2
Remove Porch	3.74 m2
Remove Tiles	4.69 m2
Remove Walls	7.54 m2
Remove Windows	38.01 m2



MATRIX ESTIMATING





**Legend**

**T03 - DEMOLITION**

Clearing for Entry Deck	28.76 m <sup>2</sup>
Remove Deck - 9100 Elev	24.29 m <sup>2</sup>
Remove Garage Door	5.36 m <sup>2</sup>
Remove Porch	3.74 m <sup>2</sup>
Remove Tiles	4.69 m <sup>2</sup>
Remove Walls	7.54 m <sup>2</sup>
Remove Windows	38.01 m <sup>2</sup>

**1 Ground Floor - Existing**

1 : 100

**Notes:**  
 © Neate Projects Pty Ltd  
 These drawings are subject to copyright and may not be copied, used or reproduced in any way without the expressed permission of Neate Projects Pty Ltd  
 Do not scale drawings.  
 Verify all dimensions on site prior to construction commencement.  
 Drawings not to be used for construction purposes.

No.	Description	Date
A	DA ISSUE	17/02/2022



PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING & INGROUND SWIMMING POOL AT NO. 14 NOYANA AVENUE, GRAYS POINT FOR MR. AND MRS. LILLEY

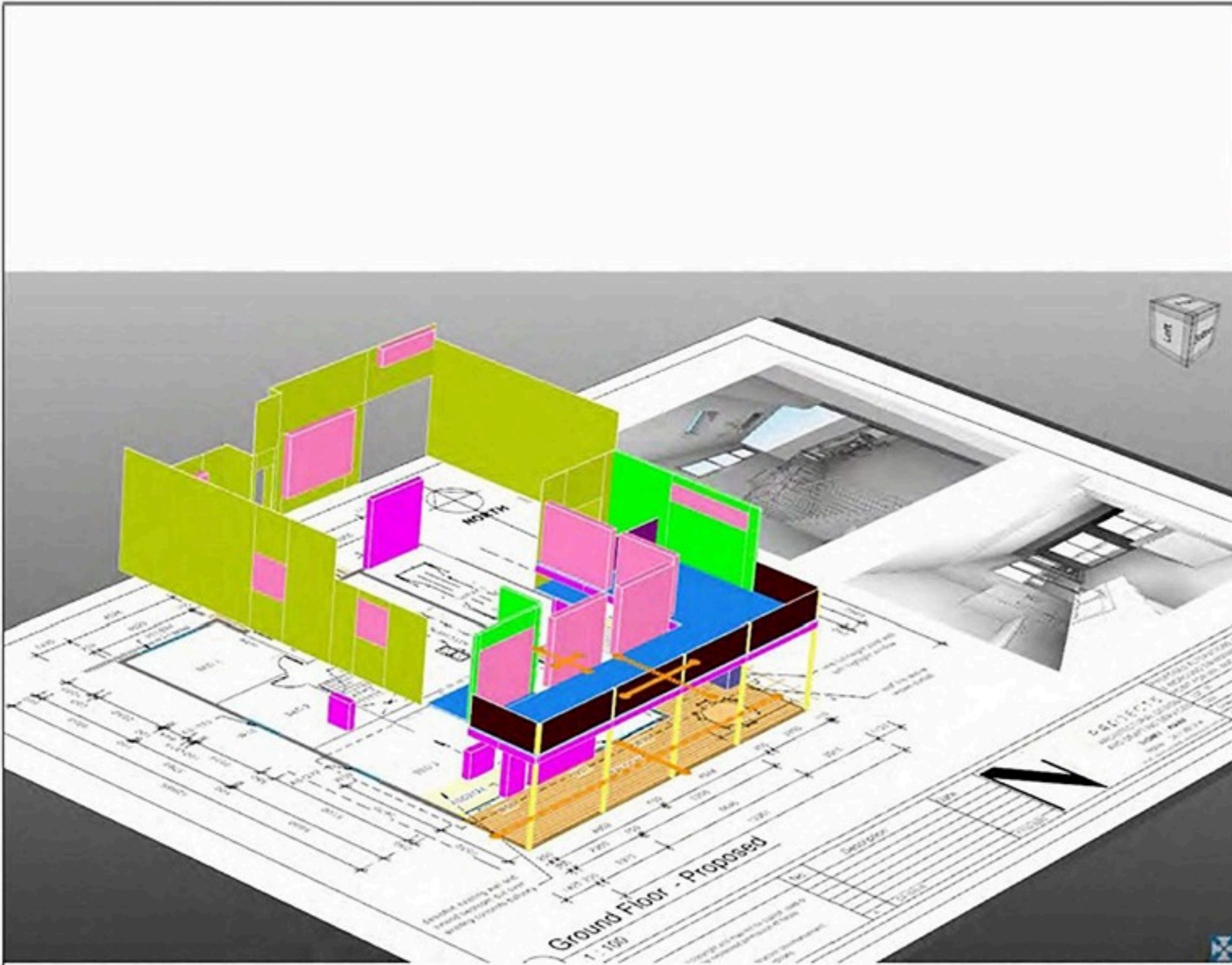
LOT 80	DP 28067	DA-04	Revision A
Date	17/02/2022		
Drawn by	HOLLY NEATE	Author	
Checked by	DAVID NEATE	Checker	Scale 1 : 100

21-02-2022 14:06:15 AM



**MATRIX ESTIMATING**





**Legend**

<b>T17 - FACADE SYSTEMS</b>		
T172 - GF - FC Cladding		146.23 m2
<b>T18 - WINDOWS</b>		
WD01 - Aluminum Framed Windows - 1.80mHx2.40mW		1.00 no
WD02 - Aluminum Framed Windows - 2.10mHx2.90mW		1.00 no
WD03 - Aluminum Framed Windows - 2.10mHx2.57mW		1.00 no
WD04 - Aluminum Framed Windows - 2.10mHx2.11mW		1.00 no
WD05 - Aluminum Framed Windows - 0.60mHx3.00mW		1.00 no
WD06 - Aluminum Framed Windows - 2.10mHx2.41mW		1.00 no
WD07 - Aluminum Framed Windows - 2.10mHx2.41mW		1.00 no
WD08 - Aluminum Framed Windows - 2.10mHx2.41mW		1.00 no
WD09 - Aluminum Framed Windows - 1.20mHx1.20mW		1.00 no
WD10 - Aluminum Framed Windows - 1.20mHx1.20mW		1.00 no
WD11 - Aluminum Framed Windows - 0.60mHx1.80mW		1.00 no
<b>T18 - WINDOWS\01 - Lower Floor</b>		
WD12 - Aluminum Framed Windows to Lower Floor - Copy		4.00 no
WD13 - Aluminum Framed Doors		2.00 no
<b>T19 - GLAZING</b>		
T192 - Balustrade for deck		17.54 m2
<b>T20 - CARPENTRY\02 - Ground Floor</b>		
T201 - GF - 100x100 Timber Post - 3.5mH		5.00 no
T202 - GF - Timber Deck		60.90 m2
T202A - GF - Timber Treads		0.71 m2
T203 - GF - Balustrade		2.37 m
T204A - GF - 90x45 MGP10 - <1.00mH		5.70 m2
T204B - GF - 90x45 MGP10 - 2.75mH		13.43 m2
T204D - GF - 90x45 MGP10 - 2.60mH		3.87 m2
T205 - GF - 240x45 H3 F7		85.58 m
T206 - GF - 190x45 H3 F7 @ 450 ctrs		140.06 m
<b>T24 - DOORS</b>		
D07 - Garage Doors		1.00 no
<b>T30 - JOINERY</b>		
External Kitchen		1.00 no

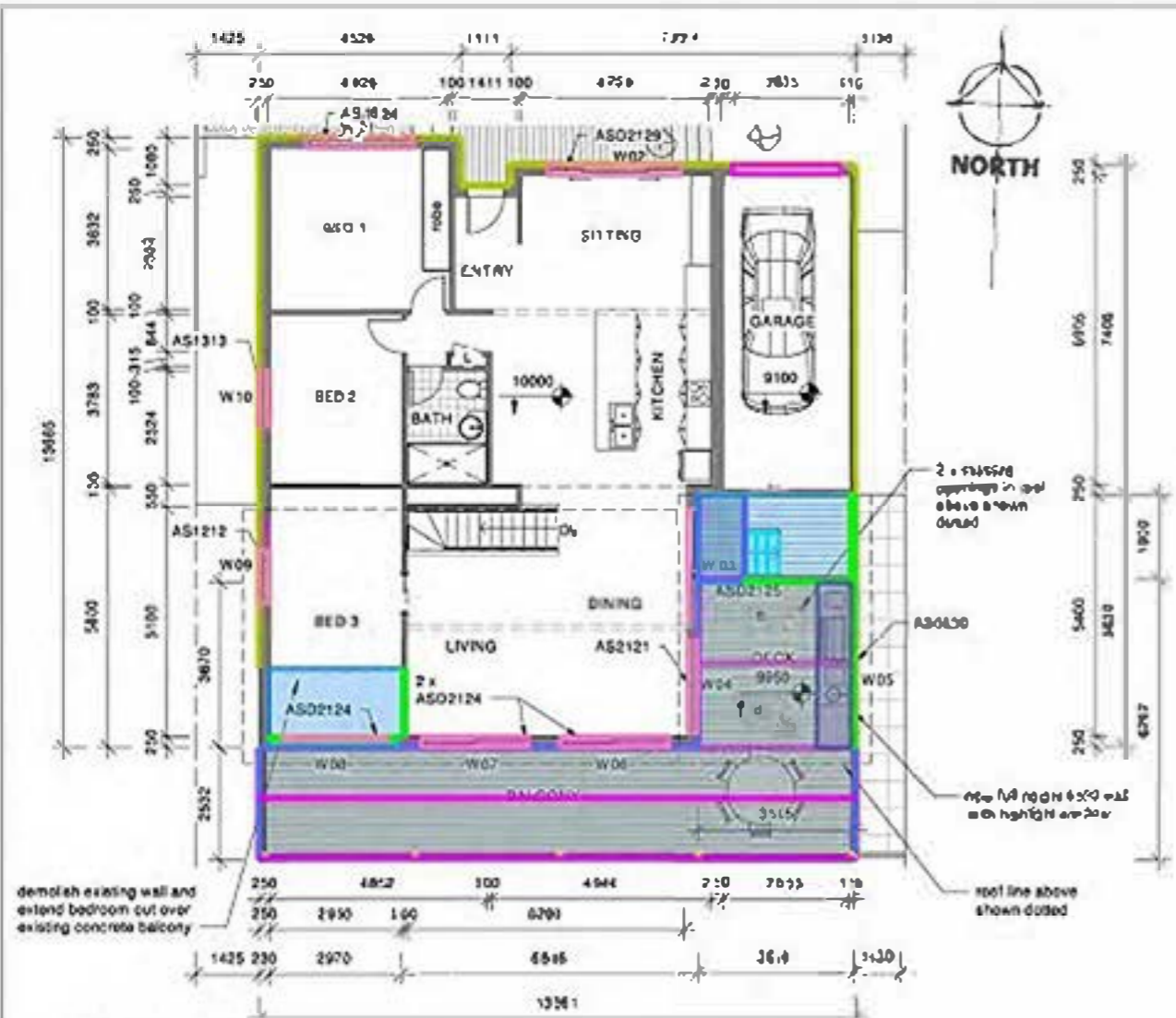


**MATRIX ESTIMATING**



Legend

<b>T17 - FACADE SYSTEMS</b>		
T172 - GF - PC Cladding		146.23 m <sup>2</sup>
<b>T18 - WINDOWS</b>		
WD01 - Aluminium Framed Windows - 1.80mHx2.40mW		1.00 no
WD02 - Aluminium Framed Windows - 2.10mHx2.90mW		1.00 no
WD03 - Aluminium Framed Windows - 2.10mHx2.57mW		1.00 no
WD04 - Aluminium Framed Windows - 2.10mHx2.11mW		1.00 no
WD05 - Aluminium Framed Windows - 0.60mHx3.00mW		1.00 no
WD06 - Aluminium Framed Windows - 2.10mHx2.41mW		1.00 no
WD07 - Aluminium Framed Windows - 2.10mHx2.41mW		1.00 no
WD08 - Aluminium Framed Windows - 2.10mHx2.41mW		1.00 no
WD09 - Aluminium Framed Windows - 1.20mHx1.20mW		1.00 no
WD10 - Aluminium Framed Windows - 1.20mHx1.20mW		1.00 no
WD11 - Aluminium Framed Windows - 0.60mHx1.80mW		1.00 no
<b>T18 - WINDOWS(01 - Lower Floor)</b>		
WD12 - Aluminium Framed Windows to Lower Floor - Copy		4.00 no
WD13 - Aluminium Framed Doors		2.00 no
<b>T19 - GLAZING</b>		
T192 - Balustrade for deck		17.54 m <sup>2</sup>
<b>T20 - CARPETRY(02 - Ground Floor)</b>		
T201 - GF - 100x100 Timber Post - 3.5mH		5.00 no
T202 - GF - Timber Deck		60.90 m <sup>2</sup>
T202A - GF - Timber Treads		0.71 m <sup>2</sup>
T203 - GF - Balustrade		2.37 m
T204A - GF - 90x45 MGP10 - <1.60mH		5.70 m <sup>2</sup>
T204B - GF - 90x45 MGP10 - 2.75mH		13.43 m <sup>2</sup>
T204D - GF - 90x45 MGP10 - 2.60mH		3.87 m <sup>2</sup>
T205 - GF - 240x45 H3 F7		85.56 m
T205 - GF - 190x45 H3 F7 @ 450 c/s		140.06 m
<b>T24 - COORS</b>		
D07 - Garage Coors		1.00 no
<b>T30 - JOINERY</b>		
External Kitchen		1.00 no



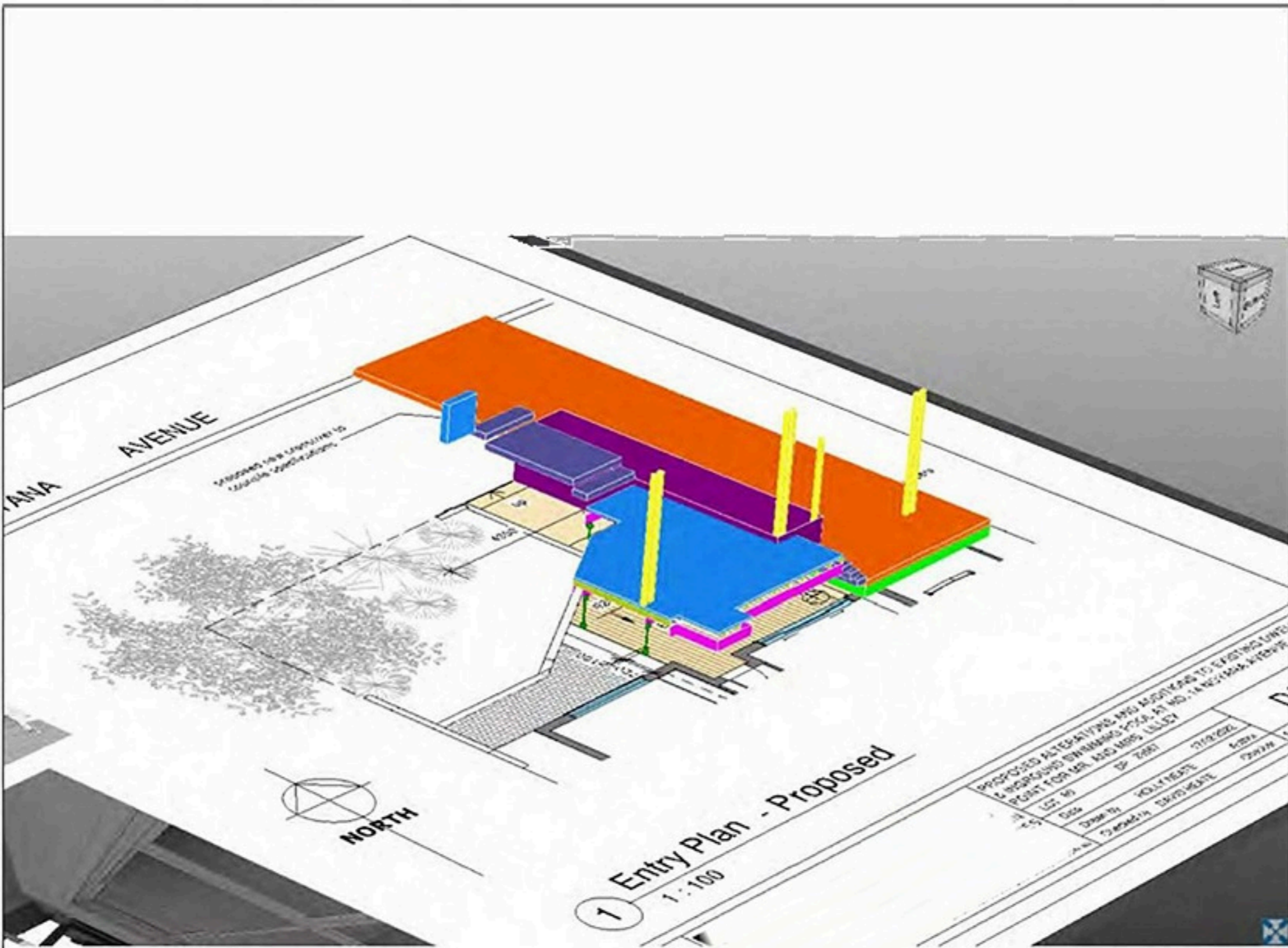
Ground Floor - Proposed  
1:100

<p>Notes:</p> <p>1. All work to be done in accordance with the relevant Australian Standards and the relevant Council's Local Government Instrument (LGI).</p> <p>2. The client is responsible for ensuring that all necessary permits and approvals are obtained from the relevant authorities.</p> <p>3. The client is responsible for ensuring that all necessary easements and rights of way are obtained from the relevant authorities.</p> <p>4. The client is responsible for ensuring that all necessary utility services are located and marked.</p> <p>5. The client is responsible for ensuring that all necessary site services are located and marked.</p> <p>6. The client is responsible for ensuring that all necessary site services are located and marked.</p>	<p>NO. 1</p> <p>DATE</p> <p>17/02/2022</p>	<p>PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING</p> <p>8 MERRILL STREET AND 100 MERRILL STREET, GRAYS POINT NSW 1470</p>	<p>LOT NO</p> <p>OP 2007</p> <p>17/02/2022</p> <p>DA-05</p> <p>Author</p> <p>A</p>	
	<p>DATE</p> <p>17/02/2022</p>			<p>Scale</p> <p>1:100</p>
	<p>DATE</p> <p>17/02/2022</p>			<p>Scale</p> <p>1:100</p>
	<p>DATE</p> <p>17/02/2022</p>			<p>Scale</p> <p>1:100</p>



MATRIX ESTIMATING





**Legend**

<b>T03 - DEMOLITION</b>	
Remove Driveway	36.34 m2
<b>T04 - GROUNDWORKS</b>	
Excavation and Level	36.35 m2
<b>T06 - CONCRETE</b>	
02 - Ground Floor	
T062 - GF - Driveway	9.14 m3
T063 - GF - Stairs	0.94 m3
<b>T12 - MASONRY</b>	
T121 - GF - Brick Facing Cladding	20.54 m2
<b>T20 - CARPENTRY</b>	
102 - Ground Floor	
T201 - GF - 100x100 Timber Post - 3.5mH	7.00 no
T202 - GF - Timber Deck	19.87 m2
T205 - GF - 240x45 H3 F7	20.41 m
T207 - GF - 140x45 H3 F7 @ 450mm ctrs	48.70 m
T208 - GF - Deck Post	8.00 no
<b>T37 - EXTERIOR ELEMENTS</b>	
Letter Box	1.00 no

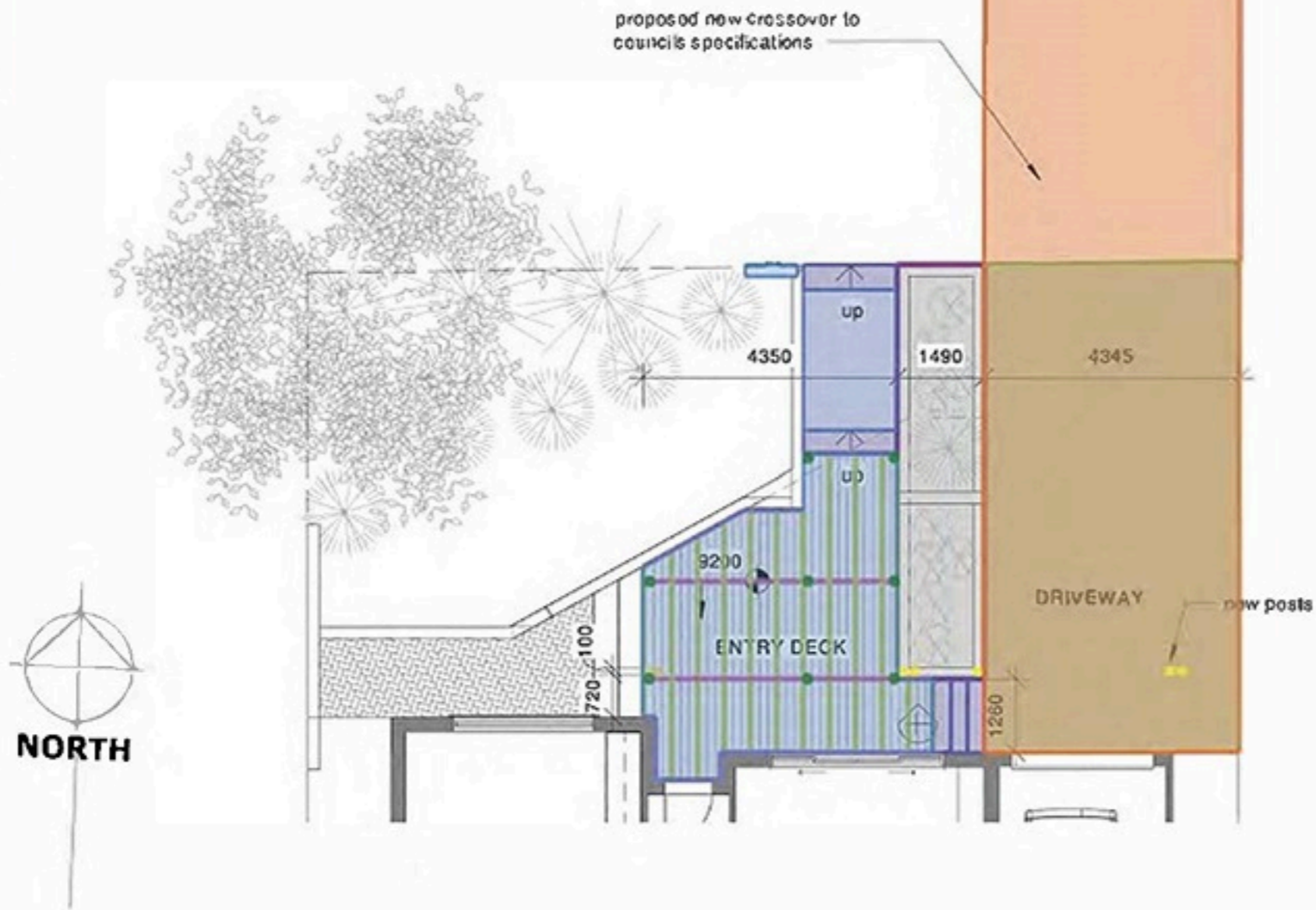


**MATRIX ESTIMATING**





# NOYANA AVENUE



1 Entry Plan - Proposed  
1 : 100

## Legend

T03 - DEMOLITION	
Remove Driveway	36.34 m2
T04 - GROUNDWORKS	
Excavation and Level	36.35 m2
T06 - CONCRETE	
T062 - GF - Driveway	9.14 m3
T063 - GF - Stairs	0.94 m3
T12 - MASONRY	
T121 - GF - Brick Facing Cladding	20.54 m2
T20 - CARPENTRY	
T202 - GF - Timber Deck	19.87 m2
T205 - GF - 240x45 H3 F7	20.41 m
T207 - GF - 140x45 H3 F7 @ 450mm ctrs	48.70 m
T208 - GF - Deck Post	8.00 no
T37 - EXTERIOR ELEMENTS	
Letter Box	1.00 no

Description	Date	
PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING & INGROUND SWIMMING POOL AT NO. 14 NOYANA AVENUE, GRAYS POINT FOR MR. AND MRS. LILLEY		

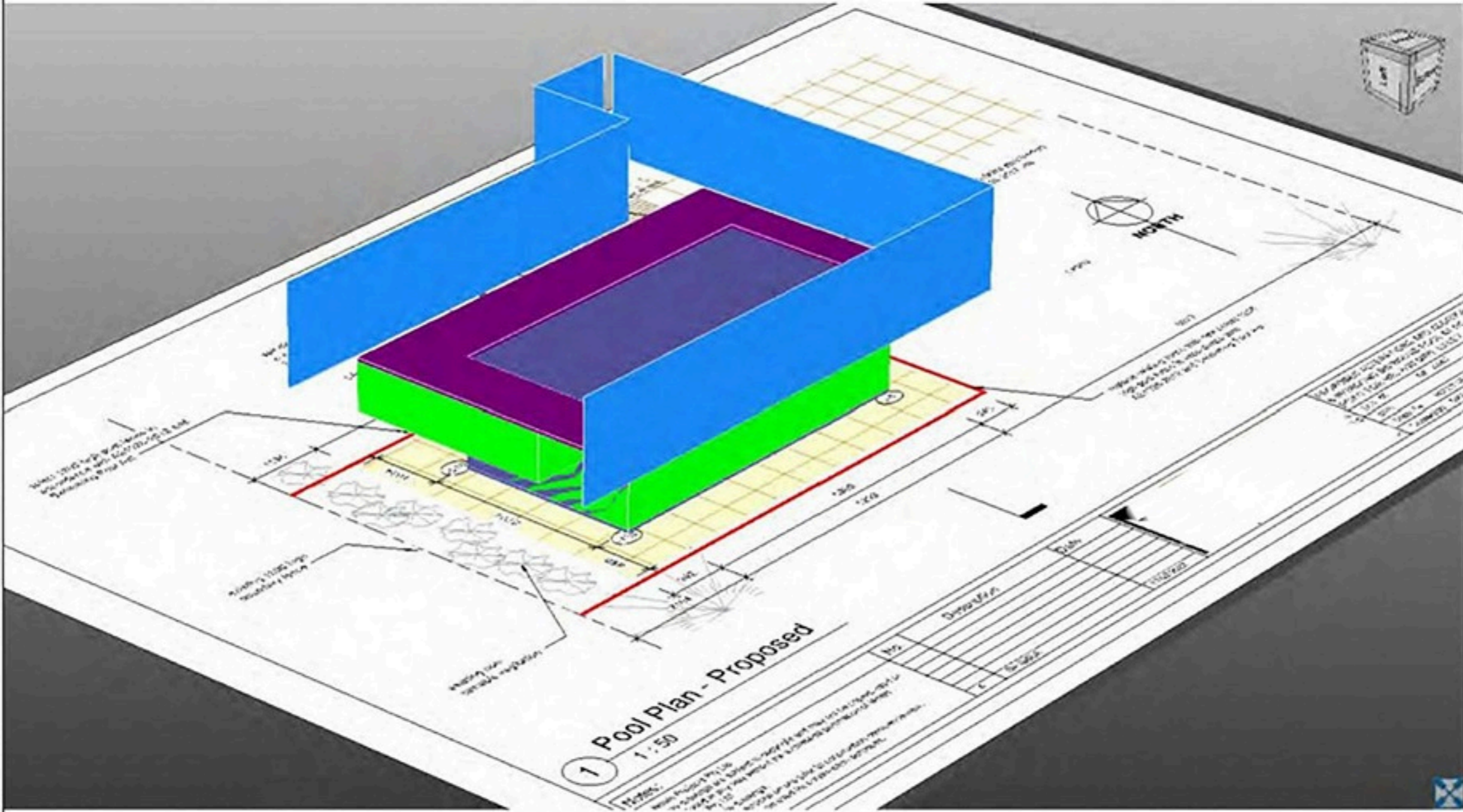


0:24 AM



Legend

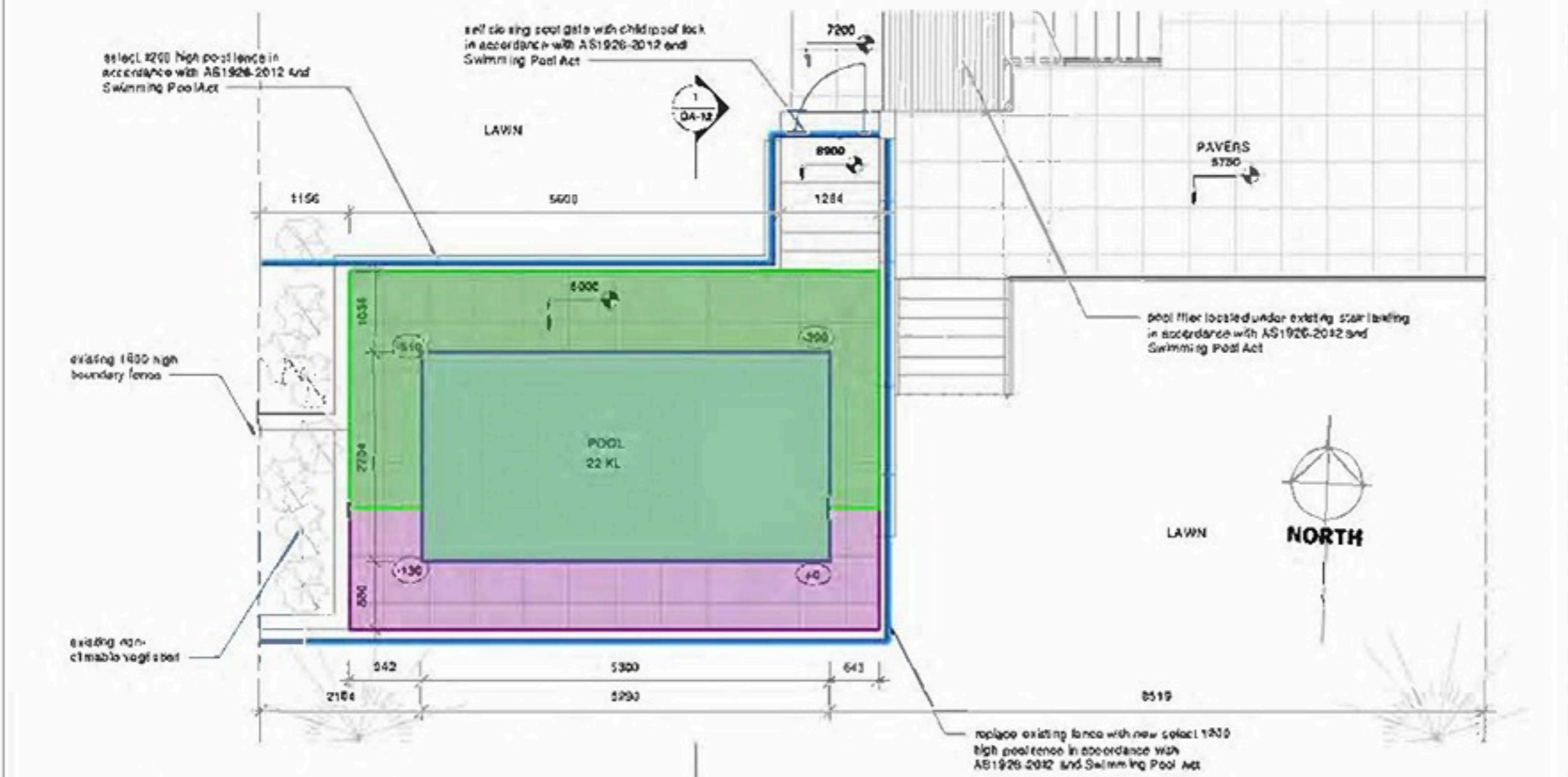
T04 - GROUNDWORKS	
Excavation and Level	24.66 m2
T27 - TILING, SLAB AND PAVING	
T102 - Floor tiles	17.46 m2
T37 - EXTERIOR ELEMENTS	
Fencing	24.36 m
Pool	1.00 no



MATRIX ESTIMATING

**Legend**

<b>T04 - GROUNDWORKS</b>	
	Excavation and Level 24.66 m <sup>2</sup>
<b>T27 - TILING, SLAB AND PAVING</b>	
	T102 - Floor tiles 17.48 m <sup>2</sup>
<b>T37 - EXTERIOR ELEMENTS</b>	
	Fencing 24.36 m
	Pool 1.00 no



**1 Pool Plan - Proposed**  
1 : 50

Notes:	No.	Description	Date	PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING & INGROUND SWIMMING POOL AT NO. 14 NOYANA AVENUE, GRAYS POINT FOR MR. AND MRS. LILLEY		
© Neato Projects Pty Ltd These drawings are to be used for building and may not be copied, used or reproduced in any way without the expressed permission of Neato Projects Pty Ltd. Do not scale drawings. Verify all dimensions on site prior to construction commencement. Drawings not to be used for construction purposes.				LOT 80	of 29567	Revision <b>DA-07</b> <b>A</b>
				Date	17/02/2022	
					Drawn by	HOLLYNEATE Author
					Checked by	DAVID MEATE Checker
	A	DA ISSUE	19/02/2022			

21/03/2022 11:00:24 AM

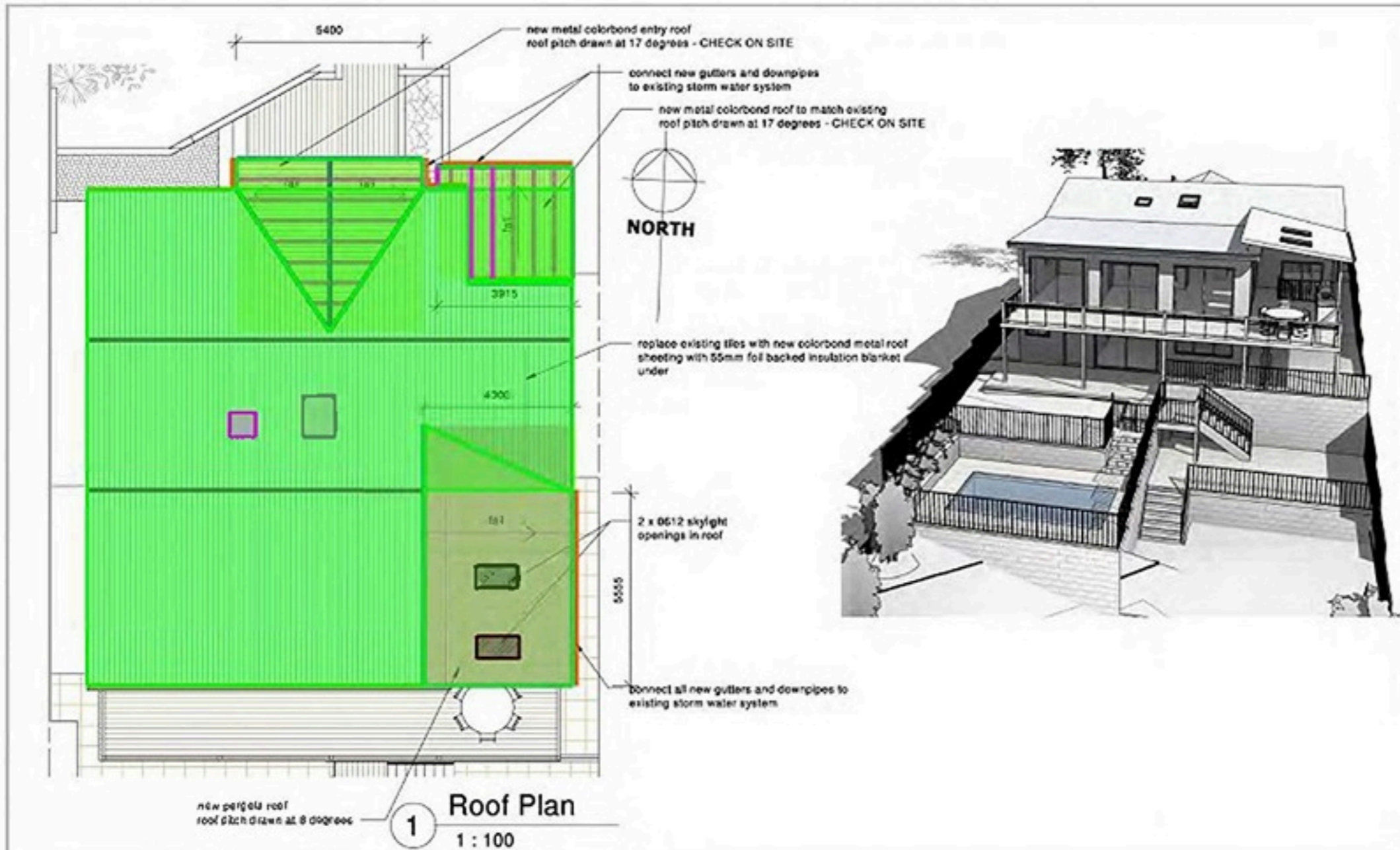


**MATRIX ESTIMATING**



### Legend

<b>T03 - DEMOLITION</b>		
Remove Existing Roof Tiles	201.25 m <sup>2</sup>	
Remove Roofing	23.29 m <sup>2</sup>	
<b>T16 - ROOFING</b>		
T162 - Gutter	34.00 m	
T163 - New Roof	271.99 m <sup>2</sup>	
T164 - Flashing	50.31 m	
<b>T19 - GLAZING</b>		
GL01 - Skylights	2.00 no	
GL02 - Additional Skylights	2.00 no	
<b>T20 - CARPENTRY\03 - Roof</b>		
T201 - RF - 140x45 MGP10 @ 600mm ctrs	153.80 m	
T202 - RF - 300x45 LVL13	49.89 m	
T203 - RF - Roof Battens	121.95 m	
T204 - Fascia and Soffit	39.96 m	
T205 - Roof Entry	2.97 m <sup>2</sup>	



#### Notes:

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No.	Description	Date
A	DA ISSUE	17/02/2022



PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING & INGROUND SWIMMING POOL AT NO. 14 NOYANA AVENUE, GRAYS POINT FOR MR. AND MRS. LILLEY

LOT 80	DP 2867	DA-14	Revision
Date	17/02/2022		A
Drawn by	HOLLY NEATE	Author	
Checked by	DAVID NEATE	Checker	Scale
			1 : 100

21/03/2022 11:00:29 AM



**MATRIX ESTIMATING**





### Legend

#### T18 - WINDOWS

WD01 - Aluminum Framed Windows - 1.80mHx2.40mW	1.00 no
WD02 - Aluminum Framed Windows - 2.10mHx2.90mW	1.00 no
WD03 - Aluminum Framed Windows - 2.10mHx2.57mW	1.00 no
WD04 - Aluminum Framed Windows - 2.10mHx2.11mW	1.00 no
WD05 - Aluminum Framed Windows - 0.60mHx3.00mW	1.00 no
WD06 - Aluminum Framed Windows - 2.10mHx2.41mW	1.00 no
WD07 - Aluminum Framed Windows - 2.10mHx2.41mW	1.00 no
WD08 - Aluminum Framed Windows - 2.10mHx2.41mW	1.00 no
WD09 - Aluminum Framed Windows - 1.20mHx1.20mW	1.00 no
WD10 - Aluminum Framed Windows - 1.20mHx1.20mW	1.00 no
WD11 - Aluminum Framed Windows - 0.60mHx1.80mW	1.00 no

#### T18 - WINDOWS\01 - Lower Floor

WD12 - Aluminum Framed Windows to Lower Floor - Copy	4.00 no
WD13 - Aluminum Framed Doors	2.00 no

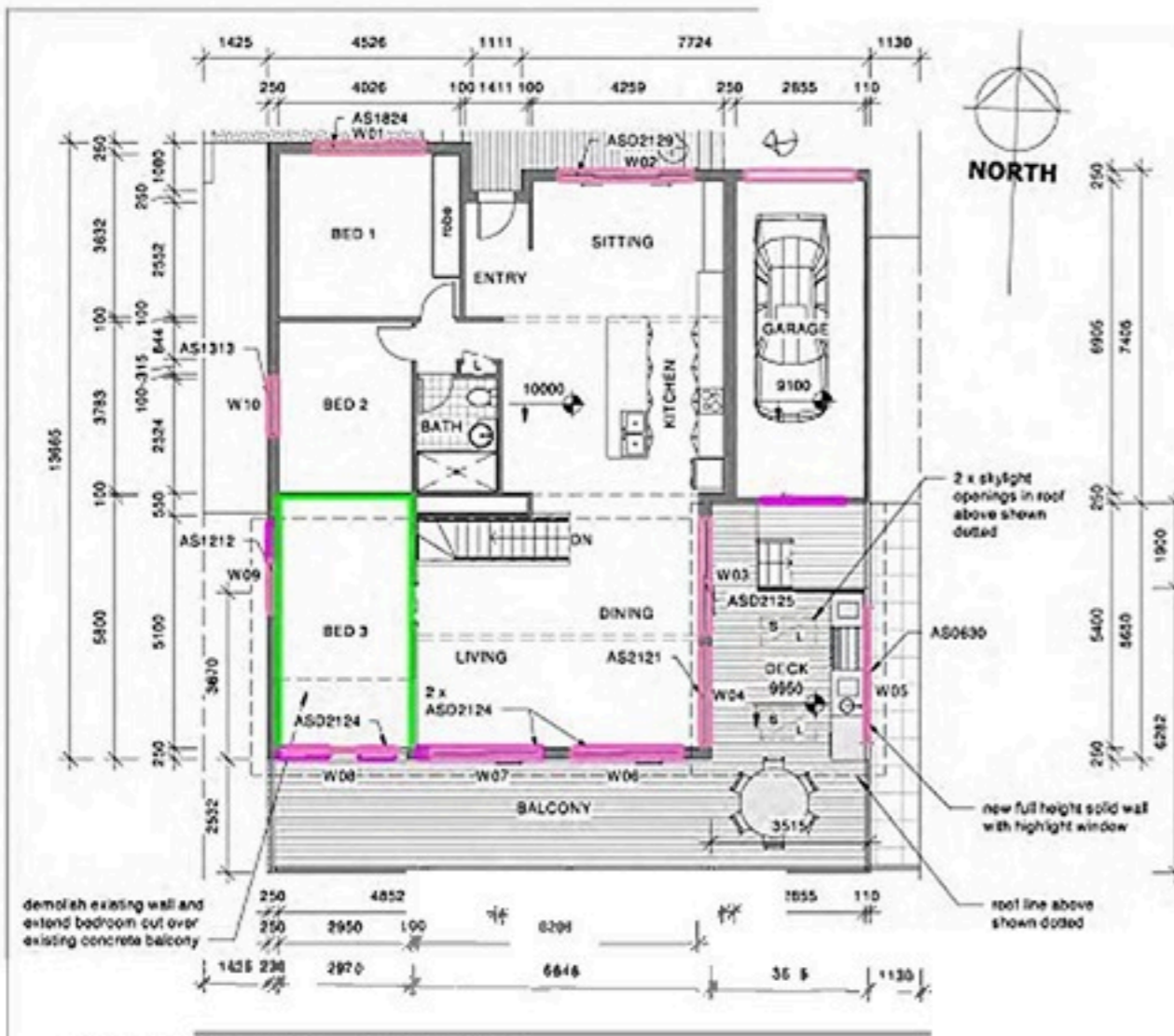
#### T20 - CARPENTRY

SK01 - Skirting	28.10 m
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MATRIX ESTIMATING





**Ground Floor - Proposed**

1 : 100

**Notes**  
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 Drawings not to be used for construction purposes.

No. \_\_\_\_\_ Date \_\_\_\_\_

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING & INGROUND SWIMMING POOL AT NO. 14 NOYANA AVENUE, GRAYS POINT FOR MR. AND MRS. LILLEY			
LOT 00	OP 28567	DA-05	Revision
Date	17/02/2022		A
Drawn by	HOLLYNEATE	Author	
Checked by	DAVID NEATE	Checker	Scale
			1 : 100

**Legend**

- T18 - WINDOWS**
- WD01 - Aluminum Framed Windows - 1.80mHx2.40mW 1.00 no
  - WD02 - Aluminum Framed Windows - 2.10mHx2.90mW 1.00 no
  - WD03 - Aluminum Framed Windows - 2.10mHx2.57mW 1.00 no
  - WD04 - Aluminum Framed Windows - 2.10mHx2.11mW 1.00 no
  - WD05 - Aluminum Framed Windows - 0.60mHx3.00mW 1.00 no
  - WD06 - Aluminum Framed Windows - 2.10mHx2.41mW 1.00 no
  - WD07 - Aluminum Framed Windows - 2.10mHx2.41mW 1.00 no
  - WD08 - Aluminum Framed Windows - 2.10mHx2.41mW 1.00 no
  - WD09 - Aluminum Framed Windows - 1.20mHx1.20mW 1.00 no
  - WD10 - Aluminum Framed Windows - 1.20mHx1.20mW 1.00 no
  - WD11 - Aluminum Framed Windows - 0.60mHx1.80mW 1.00 no
- T18 - WINDOWS\01 - Lower Floor**
- WD12 - Aluminum Framed Windows to Lower Floor - Copy 4.00 no
  - WD13 - Aluminum Framed Doors 2.00 no
- T20 - CARPENTRY**
- SK01 - Skirting 28.10 m



**MATRIX ESTIMATING**

## Terms and Conditions of Sale

### Governing Law

The proper Law of these Terms of Sale is that of Australia, and the parties agree to submit to the jurisdiction of the courts of Australia.

### Applicable Terms

These terms and conditions apply to all order (Orders) relating to the provision of materials (Goods) and services by Bold Blueprints Construction. These Terms and conditions of sale shall apply to the exclusion of all others, including any Terms and Condition of the Purchaser whether written or oral. The confirmation of an order shall be deemed as acceptance of these Terms and conditions of sale. The purchaser (Purchaser) acknowledges and agrees that all details outlined in the quotation are correct.

### In this Agreement, unless the contrary intention appears:

- Headings are for the purpose of convenient reference only and do not form part of this Agreement;
- The singular includes the plural and vice versa;
- A reference to a person includes a body politic, body corporate or a partnership;
- If the last day of any period prescribed for the doing of an action fall on a day which is not a business day, the action shall be done no later than the next business day;
- A reference to an Act is a reference to an Act of the Commonwealth, State or Territory of Australia, as amended from time to time, and includes a reference to any subordinate legislation made under the Act;
- A reference to a clause includes a reference to a subclause of that clause;
- The word 'includes' in any form is not a word of limitation; and
- A reference to a party includes that party's administrators, successors, and permitted assigns, including any person to whom that party novates any part of this Agreement.

### Payment

Payments in full shall be made strictly within 14 days of the date of the invoice or within such shorter period as may be required by Bold Blueprints Construction. Deposit is required on acceptance of order, refer to payment schedule in above quotation. Progress claims apply for site delays exceeding 30 days. The Total Purchase Price is not refundable once the Goods have been ordered. Any Goods that have been cut prior to installation cannot be cancelled and the Total Purchase Price is not refundable. If the person or organisation who orders the Goods is the owner of the property to which the Goods was installed or delivered, such person or corporation charges against the title of the property Goods provided and consents to a caveat being lodged if the Total Purchase Price is not paid within fourteen days (14) of invoice.

The Purchaser agrees that if it fails to pay in accordance with this clause, the Bold Blueprints Construction may:

- Reserves the right to charge interest of 5% per Month for amounts outstanding after the invoice due date
- Charge a dishonour handling fee in the amount of \$95.00;
- Charge interest on debts at 20% per annum from time to time;
- Recover all collections costs and expenses incurred in collecting overdue accounts on an indemnity basis;
- Withhold supply; and
- Sue for the money owing on the goods or services provided.

Bold Blueprints Construction reserves the right to report a Purchaser's delinquent account to a credit reporting agency should payment remain outstanding for more than sixty (60) days. In addition, the Bold Blueprints Construction may refer the outstanding account for debt collection or issue legal proceedings to recover any outstanding invoices. Should an account be referred for debt collection the Purchaser acknowledges and agrees to pay debt collection charges to be calculated at not less than 20% plus GST and will be incurred on the day the Bold Blueprints Construction refers the matter to their nominated debt collection agency. The purchaser shall also be liable for interest and all legal recovery costs associated with such action on a solicitor and own purchaser or indemnity cost basis.

### Property, Title and risk.

Ownership of the goods remains with Bold Blueprints Construction until the Total Purchase Price is received. Ownership in the goods passes to the Purchaser upon payment of the Total Purchase Price. Delivery of the Goods is completed when the Goods are in the place nominated by the Purchaser on the Order. Delivery of the Goods is to be in accordance with the Order and at the time nominated by Bold Blueprints Construction. Bold Blueprints Construction may at any time amend the times and/or manner of delivery of the Goods. Risk in the Goods will pass to the Purchaser once the Goods have been delivered to the place nominated by the Purchaser on the Order. If the Purchaser fails to make payment when due, Bold Blueprints Construction or his authorized representative may enter the Purchaser's premises, vehicle or vessel or other place upon which the goods are reasonably thought to be situated for the purpose of removing any such goods to recover and resell the goods.

### Risk

Should Bold Blueprints Construction elect to post any goods or organise delivery of goods, the Purchaser's risk of loss or damage to such goods passes to the Purchaser on the date and at the time that the goods were ordered and it is the Purchaser's

responsibility to ensure these goods are insured and covered for their time in transit. Bold Blueprints Construction will not be responsible for non-delivery or delay in delivery of any goods where such non-delivery or delay occurs, Bold Blueprints Construction may deliver the goods not delivered or delayed at any subsequent time and the Purchaser must accept and pay for them.

#### Installation

All Goods are to be installed to manufacturer's specifications by experienced installers. Installation of flooring involves consistent contact with skirting and architraves and although all care will be taken, Bold Blueprints Construction do not accept responsibility for any marking or damage thereof. Purchasers should be aware that newly painted surfaces are particularly prone to marking or damage. Where possible, floating floor installation ought to be delayed until such time that paint has cured to lessen the potential for marking or damage. Removal and replacement of furniture will be done with all due care; however, no responsibility is accepted by Bold Blueprints Construction for accidental damage thereto. Placement of floor covering joints is at the discretion of Bold Blueprints Construction unless otherwise specified. All valuables, including but not limited to, jewellery, monies, antiques etc. are to be moved to a safe place out of the areas of installation. Bold Blueprints Construction takes no responsibility for resetting up of the Purchaser's TV, video, DVD, Foxtel, computers or any other electrical appliances which may have been moved. It is the Purchaser's responsibility to make the installers aware of any items of furniture that may require extra care when moving. Under no circumstances will Bold Blueprints Construction installers disconnect or move gas heaters, stoves, phone points or other appliances or fixtures that require a plumber, electrician or other suitably qualified technician.

#### Guarantees

Bold Blueprints Construction guarantees that the installation of the Goods will be carried out in a workmanlike manner and Bold Blueprints Construction will rectify any faulty workmanship, provided that the complaints of this nature are notified to Bold Blueprints Construction as soon as they become apparent, and within 12 months of the installation date and provided that the Goods have been installed by Bold Blueprints Construction. The above guarantee does not apply to or cover the following:

- Wear and tear caused by normal usage, including but not limited to expansion, contraction, marking or shading;
- Obvious manufacturing faults not brought to Bold Blueprints Construction attention immediately;
- Second hand and remnant materials when sold as such;
- Purchaser dissatisfaction with type and colour selected;
- Substandard client supplied materials;
- Excessive humidity, heating, air-conditioning, direct sunlight, moisture or inappropriate cleaning techniques;
- Bold Blueprints Construction does not warrant damage caused by the use of the goods for purposes or in any manner other than those for which it was designed or approved.

In respect to those goods not manufactured by Bold Blueprints Construction, Bold Blueprints Construction and its vendors extend to the purchaser the equivalent warranty (but subject to the same conditions and limitations) as provided to Bold Blueprints Construction by the supplier of the goods to Bold Blueprints Construction.

#### Measurements supplied by purchaser

If Bold Blueprints Construction have provided a quotation based on measurements, or quantities, supplied by the Purchaser, the final Total Purchase Price is subject to variation following measurement by Bold Blueprints Construction. Bold Blueprints Construction will advise the Purchaser of any variation as soon as possible after measurements have been taken. If the Purchaser elects to proceed using their own measurements, it is their responsibility for all inaccuracies.

#### Default

If the Purchaser:

- Fails to pay for any goods or services on the due date; or
- Otherwise breaches this Agreement and fails to rectify such breach within five (5) business days (5) notice; or
- Cancels delivery of goods or services; or
- Commits an act of bankruptcy or allows a trustee in bankruptcy or receiver and manager to be appointed to the Purchaser or any of its property; or
- Allows a judgment or order to be enforced or become enforceable against the Purchaser's property; or
- Permits proceedings to be commenced to wind the Purchaser up or controller, receiver, administrator, liquidator or similar officers appointed to the Purchaser in respect of any part of its property;

Then the Bold Blueprints Construction may enter upon the Purchaser's premises (doing all that is reasonably necessary to gain access) where goods supplied under this Agreement are situated at any time and re-take possession of any or all of the goods the Bold Blueprints Construction has supplied to the Purchaser.

#### Indemnity

In addition to all other indemnities detailed in this Agreement, the Purchaser indemnifies the Bold Blueprints Construction, its officers, employees and agents against all liability or loss (including loss of profits) arising directly or indirectly from, and any costs, charges and expenses (including the cost of settling any action) arising or incurred in connection with any breach by the Purchaser of this Agreement.

Cutting of doors

If doors require any adjustments to accommodate the new floor coverings, this has not been allowed in the above quote. It is the purchaser's responsibility to source an appropriate tradesperson to complete these works or else this will be charged as a variation to this quotation. Such adjustments may need to be made before installation begins.

Power on site

The Purchaser must ensure power is on as installers require access to power for their tools.

Cost of materials

This quote is subject to the manufacturers/supplier pricing and availability which may vary at any time.

Disputes

If the Purchaser disputes any goods sold or services supplied by the Bold Blueprints Construction are faulty or defective or disputes the Invoices the Bold Blueprints Construction has issued, the Purchaser must notify their reasons in writing to the Bold Blueprints Construction within five (5) business days of the Invoice date, failing which the Purchaser loses any right to dispute the quality of the goods, services or quantum of.

Cancellation of Order

An order may be cancelled; the notification must be in writing. Bold Blueprints Construction reserves the right to charge all costs incurred including material purchased, labour expended plus a cancellation fee of 15% of the contract value.