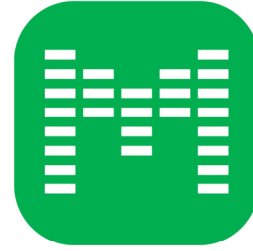




# MATRIX ESTIMATING

*"Professional Accurate Quotations"*



## MATRIX ESTIMATING

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Cormac Gray: 0415 798 401

19 June 2023

Solid Ascent Builders  
Glenorchy TAS 7010

Quotation No: 23001-0A

### RE: 101 Pine Lane

It is with pleasure that we forward our quotation for the render system to 101 Pine Lane as requested. This quotation is based on the accompanying marked-up document.

### Our quotation is as follows:

Stage 1 (Separable Part A) -New Changerooms & Public WCs		
Item	Description	(excl GST)
<b>1</b>	<b>Preliminaries</b>	\$ 180,000.00
<b>2</b>	<b>Demolitions, External Works -In-ground Services, Paving, Sundries</b>	
2.1	Demolition works generally, incl disposal & recycling	\$ 22,000.00
2.2	Earthworks / Excavation / Site Preparation	\$ 5,000.00
2.3	Concrete pavements, incl. base, subbase etc	INCLUDED
2.4	Gravel pavements, incl. base, subbase etc and landscape reinstatement	\$ 3,000.00
2.5	Stormwater drainage incl. grated drains, pits and connections	INCLUDED
2.6	In-ground Sanitary Waste and Water Supply, incl. pits and connections	INCLUDED
2.7	Bitumen works incl. base, subbase etc, fencing and sundries	\$ 14,000.00
<b>3</b>	<b>Concrete &amp; Masonry</b>	
3.1	Building slabs & footings inc. bored piers	\$ 128,000.00
3.2	Verandah slabs	INCLUDED
3.3	Tank slab, retaining walls, steps, incl. base, subbase etc	INCLUDED
3.4	Blockwork incl. all sundries	\$ 67,000.00
<b>4</b>	<b>Steelwork</b>	
4.1	Wall framing & columns/posts incl. footing connections	\$ 91,000.00
4.2	Roof framing	INCLUDED
<b>5</b>	<b>Metalwork</b>	
5.1	Balustrades, handrails	\$ 37,000.00
5.2	Roof access & safety items	\$ 10,000.00
5.3	Pressed metal door frames	\$ 10,000.00

5.4	Tactile indicators, stair nosings & external signage	\$	4,000.00
5.5	Bench seat frames, external sink frames & sundry metalwork	\$	8,000.00
5.6	Stainless steelwork & powercoated steel claddings to external sinks	\$	38,000.00
<b>6</b>	<b>Roofing &amp; Cladding</b>		
6.1	Colorbond roof deck, incl. insulation, barriers, cappings & sundries	\$	247,000.00
6.2	Eaves gutters, downpipes and rainwater goods		INCLUDED
6.3	Colorbond corrugated wall claddings, incl. all sundries		INCLUDED
6.4	Metal sheet wall & fascia claddings, incl. backings & sundries		INCLUDED
6.5	Cement sheet wall claddings, incl. insulation, barriers & sundries		INCLUDED
6.6	Danpalon roofing, incl. Freespan rafters, accessories & sundries		INCLUDED
<b>7</b>	<b>Windows &amp; Doors</b>		
7.1	Aluminium window & door frames, incl. glazing, fixed louvres & screens, hardware & sundries	\$	64,000.00
7.2	Timber doors, hardware & sundries	\$	39,000.00
7.3	Operable glazed louvre panels & security screens	\$	30,000.00
7.4	Roller shutters	\$	4,000.00
<b>8</b>	<b>Carpenter &amp; Joiner / Linings / Painting</b>		
8.1	Wall framing, incl bracing & connections	\$	48,000.00
8.2	Timber roof framing, incl bracing & connections	\$	32,000.00
8.3	Cabinetry, joinery, coat hook rails, bench seat slats & timber skirtings	\$	94,000.00
8.4	Plasterboard & cement sheet wall & ceiling linings	\$	104,000.00
8.5	Ply wall & ceiling linings		INCLUDED
8.6	Wall tiling	\$	78,000.00
8.7	Cement sheet soffit linings	\$	19,000.00
8.8	WC and shower cubicles	\$	12,000.00
8.9	Painting	\$	28,000.00
8.1	Fire extinguishers and blankets	\$	1,000.00
<b>9</b>	<b>Hydraulic Services</b>		
9.1	Sanitary plumbing, incl. sanitary fixtures	\$	129,000.00
9.2	Hot & cold-water services incl. HW service and tapware, mixing valves etc.	\$	118,000.00
9.3	Rainwater tanks, pumps, filtration, changeover valves etc, incl all accessories	\$	17,000.00
9.4	Stormwater detention system, incl earthworks and all accessories	\$	36,000.00
<b>10</b>	<b>Floor Finishes</b>		
10.1	Regupol sheet rubber flooring & accessories	\$	21,000.00
10.2	Sheet vinyl & coved skirtings		INCLUDED
10.3	Ceramic floor tiling & skirtings	\$	8,000.00
10.4	Concrete sealer to slabs	\$	4,000.00
<b>11</b>	<b>Mechanical Services</b>	\$	23,000.00
<b>12</b>	<b>Electrical Services</b>	\$	121,000.00
<b>13</b>	<b>Miscellaneous – List any other items here as appropriate</b>	\$	1,000.00
<b>Total (Stage 1/Separable Part A, c/f to Page 5)</b>		<b>\$</b>	<b>1,893,000.00</b>

**Stage 2 (Separable Part B) - Grandstand Refurbishment & Extension**

<b>Item</b>	<b>Description</b>	<b>(excl GST)</b>
<b>1</b>	<b>Preliminaries</b>	\$ 158,000.00
<b>2</b>	<b>Demolitions, External Works -In-ground Services, Paving, Sundries</b>	
2.1	Demolition works generally, incl disposal & recycling	\$ 45,000.00
2.2	Earthworks / Excavation / Site Preparation	\$ 6,000.00
2.3	Concrete pavements, incl. base, subbase etc	INCLUDED
2.4	Gravel pavements, incl. base, subbase etc and landscape reinstatement	\$ 2,000.00
2.5	Stormwater drainage incl. grated drains, pits and connections	INCLUDED
2.6	In-ground Sanitary Waste and Water Supply, incl. pits and connections	INCLUDED
2.7	Bitumen works incl. base, subbase etc, fencing and sundries	\$ 17,000.00
<b>3</b>	<b>Concrete &amp; Masonry</b>	
3.1	Building slabs & footings inc. bored piers	\$ 81,000.00
3.2	Paving slabs	INCLUDED
3.3	Blockwork incl. all sundries	\$ 33,000.00
<b>4</b>	<b>Steelwork</b>	
4.1	Wall framing & columns/posts incl. footing connections	\$ 94,000.00
4.2	Roof framing	INCLUDED
<b>5</b>	<b>Metalwork</b>	
5.1	Balustrades, handrails	\$ 64,000.00
5.2	Pressed metal door frames	\$ 4,000.00
5.3	Tactile indicators, stair nosings & external signage	\$ 24,000.00
5.4	Stainless steelwork to kitchen	INCLUDED
<b>6</b>	<b>Roofing &amp; Cladding</b>	
6.1	Colorbond roof deck, incl. insulation, barriers, cappings & sundries	\$ 149,000.00
6.2	Eaves gutters, downpipes and rainwater goods	INCLUDED
6.3	Colorbond corrugated wall claddings, incl. all sundries	INCLUDED
6.4	Metal sheet wall & fascia claddings, incl. backings & sundries	INCLUDED
6.6	Danpalon roofing, incl. Freespan rafters, accessories & sundries	INCLUDED
<b>7</b>	<b>Windows &amp; Doors</b>	
7.1	Aluminium window & door frames, incl. glazing, fixed louvres & screens, hardware & sundries	\$ 40,000.00
7.2	Timber doors, hardware & sundries	\$ 35,000.00
7.3	Operable glazed louvre panels & security screens	INCLUDED
7.4	Roller shutters	\$ 9,000.00
<b>8</b>	<b>Carpenter &amp; Joiner / Linings / Painting</b>	
8.1	Wall framing, incl bracing & connections	\$ 50,000.00
8.2	Timber roof framing, incl bracing & connections	\$ 4,000.00
8.3	Cabinetry, joinery, coat hook rails, bench seat slats & timber skirtings	\$ 154,000.00
8.4	Modwood decking and steps to Grandstand seating, incl all accessories	\$ 43,000.00
8.5	Plasterboard & cement sheet wall & ceiling linings	\$ 44,000.00
8.6	Ply wall & ceiling linings	INCLUDED
8.7	Wall tiling	\$ 27,000.00
8.8	Cement sheet soffit linings	\$ 18,000.00
8.9	WC and shower cubicles	\$ 25,000.00
8.10	Painting	\$ 53,000.00
8.11	Fire extinguishers and blankets	\$ 1,000.00

<b>9</b>	<b>Hydraulic Services</b>	
9.1	Sanitary plumbing, incl. sanitary fixtures	\$ 89,000.00
9.2	Hot & cold-water services incl. HW service and tapware, mixing valves etc.	\$ 100,000.00
<b>10</b>	<b>Floor Finishes</b>	
10.1	Regupol sheet rubber flooring & accessories	\$ 27,000.00
10.2	Sheet vinyl & coved skirtings	INCLUDED
10.3	Ceramic floor tiling & skirtings	N/A
10.4	Concrete sealer to slabs	\$ 2,000.00
<b>11</b>	<b>Mechanical Services</b>	\$ 76,000.00
<b>12</b>	<b>Electrical Services</b>	\$ 96,000.00
<b>13</b>	<b>Miscellaneous – List any other items here as appropriate</b>	\$ 1,000.00

**Total (Stage 2/Separable Part B, c/f to Page 5) \$ 1,471,000.00**

Item	Separable Parts A & B (refer Specification Preliminaries 1.6) -pricing to include all % oncosts for Preliminaries, Attendance & Margins etc.)	Totals (ex Gst)
<b>A</b>	Separable Part A, comprising: 1. All works as documented in the Architectural, Services and Structural & Civils Tender Drawings, Schedules and Specifications and as required to complete and hand over for occupation and use the new Changeroom and Amenities and Public WCs facility.	\$ 1,912,000.00
<b>B</b>	Separable Part B, comprising: 2. All works as documented in the Architectural, Services and Structural & Civils Tender Drawings, Schedules and Specifications remaining following completion of Separable Part A, being the refurbishment of and extensions to the existing Grandstand and associated and sundry external works.	\$ 1,584,000.00
<b>Item</b>	<b>Provisional Sums as listed in the Specification at 0143 Preliminaries, Item 1.2</b>	\$ 35,000.00
<b>Total (to equal Tender Sum), excl. GST</b>		<b>\$ 3,531,000.00</b>

**Our detailed quotations are as follows:**

**Stage 1 (Separable Part A) -New Changerooms & Public WCs**

<b>1 Preliminaries</b>		<b>\$176,000.00</b>
	Site Set up	\$11,000.00
	Plant and scaffolding	\$16,000.00
	Temporary services	\$4,000.00
	Waste management	\$11,000.00
	Project management	\$32,000.00
	Site foremen	\$82,000.00
	Sundries and consumables	\$20,000.00
<b>2 Demolition</b>		
2.1	<u>Demolition works generally, incl disposal &amp; recycling</u>	\$22,000.00
	Demolish and remove the existing toilet block including all concrete slabs and associated footings. Sawcut and remove the existing asphalt, leaving the existing F.C.R in place, around the toilet block as per the stage 1 plan.	106.77 m2
2.2	<u>Earthworks / Excavation / Site Preparation</u>	\$5,000.00
	Demo of bitumen	236.58 m2
	Site Clearing	351.66 m3
	Excavation strip footing	30.37 m3
2.3	<u>Concrete pavements, incl. base, subbase etc</u>	INCLUDED
	Demo of footpath	44.63 m3
	Demo of existing SOG and foundations	106.34 m3
2.4	<u>Gravel pavements, incl. base, subbase etc and landscape reinstatement</u>	\$3,000.00
	Crushed rock 150mm	37.84 m3
2.5	<u>Stormwater drainage incl. grated drains, pits and connections</u>	INCLUDED
2.6	<u>In-ground Sanitary Waste and Water Supply, incl. pits and connections</u>	INCLUDED
2.7	<u>Bitumen works incl. base, subbase etc, fencing and sundries</u>	\$14,000.00
	Chainlink Gates	
	D38.0 – Double gate 1750 x 2100mm – Gal finish	1.00 no
	3 new gates to pitch – 1000x1200mm	1.00 no
	Bitumen Works	
	Dig out and prep and level	31.97 m3
	Crushed rock	15.99 m3
	Bitumen - Supply and install	159.86 m2
<b>3 Concrete &amp; Masonry</b>		
3.1	<u>Building slabs &amp; footings inc. bored piers</u>	\$128,000.00
3.2	<u>Verandah slabs</u>	INCLUDED
3.3	<u>Tank slab, retaining walls, steps, incl. base, subbase etc</u>	INCLUDED
	Concrete pumping	3.00 no
	<u>Concrete placement</u>	
	T03 - GF - CONC 01 - CP - SF1 - Strip Footing - 600mmT	24.93 m3
	T03 - GF - CONC 02 - CP - SF2 - Strip Footing - 600mmT	5.85 m3
	T03 - GF - CONC 03 - CP - S1 - Waffle pod Slab - 120mmT	22.32 m3
	T03 - GF - CONC 03 - CP - S1 - Waffle pod Slab install and finish	185.98 m2
	T03 - GF - CONC 03a - CP - S1 - Waffle setdown - 250mmT	7.69 m3
	T03 - GF - CONC 04 - CP - S2 - Slab on ground	26.55 m3

	T03 - GF - CONC 04 - CP - S2 - Slab on ground - install and finish	241.37 m2	
	T03 - GF - CONC 05 - CP - EB1 - Edge Beam - 400mmT	9.02 m3	
	T03 - GF - CONC 06 - CP - EB2 - Edge Beam - 400mmT	13.72 m3	
	T03 - GF - CONC 07 - CP - ST1 - Slab thickening - 400mmT	5.22 m3	
	T03 - GF - CONC 08 - CP - DP1 - Drilled Pier	15.00 no	
	T03 - GF - CONC 09 - CP - DP2 - Drilled Pier	35.00 no	
	<u>Formworks</u>		
	EB1 - Formworks	77.61 m	
	EB2 - Formworks	124.25 m	
	Void Formworks	123.00 no	
	T04 - GF - FW 04 - Set Down Formworks	29.18 m	
	Formworks to Ramps	2.00 no	
	<u>Reinforcement</u>		
	Board Piers	1.00 no	
	Strip footing & Block	1.00 no	
	Waffle slab - SI	1.00 no	
	Internal infill slab - Amenities 2	1.00 no	
	Tank, Serving, Apron & Spectators slab	1.00 no	
	Ext walkways, ramps & stairs	1.00 no	
3.4	<u>Blockwork incl. all sundries</u>		\$67,000.00
	Masonry foundation	81.19 m2	
	External masonry veneer	117.36 m2	
<b>4</b>	<b>Steelwork</b>		
4.1	<u>Wall framing &amp; columns/posts incl. footing connections</u>		\$91,000.00
	<u>Structural Steel</u>		
	C1 - 89x5 RHS (12.5kg/m)	148.09 m	
	C2 - 89x5 CHS (12.5kg/m)	63.70 m	
	C4 - 89x3.5 SHS (9.07kg/m)	16.20 m	
	C5 - 89x3.5 SHS (9.07kg/m)	2.07 m	
	BM - Metal Bracing	1.00 qty	
4.2	<u>Roof framing</u>		INCLUDED
	RB1 - 150x100x5 RHS (18.2 kg/m)	58.33 m	
	RB2 - 150x100x6 RHS (21.4 kg/m)	44.19 m	
	RB3 - 150x100x6 RHS (21.4 kg/m)	11.04 m	
	RB4 - 200 x 13 EA (40.0 kg/m)	29.90 m	
<b>5</b>	<b>Metalwork</b>		
5.1	<u>Balustrades, handrails</u>		\$37,000.00
	RAMP & STAIRS BALUSTRADE – HANDRAIL	1.00 no	
	Bike racks	3.00 no	
5.2	<u>Roof access &amp; safety items</u>		\$10,000.00
	T20 - 01 - Roof Safety - RA1	8.00 no	
5.3	<u>Pressed metal door frames (NEED TO INCLUDE THIS)</u>		\$10,000.00
5.4	<u>Tactile indicators, stair nosings &amp; external signage</u>		\$4,000.00
	Tactile indicators	2.88 m2	
	Stair nosings	5.00 no	
5.5	<u>Bench seat frames, external sink frames &amp; sundry metalwork</u>		\$8,000.00
	BENCH SEATING BS3	3.00 no	

5.6	<u>Stainless steelwork &amp; powercoated steel claddings to external sinks</u>		\$38,000.00
	WASH TROUGH MALE	1.00 no	
	WASH TROUGH FEMALE	1.00 no	

## 6 Roofing & Cladding

6.1	<u>Colorbond roof deck, incl. insulation, barriers, cappings &amp; sundries</u>		\$247,000.00
6.2	<u>Eaves gutters, downpipes and rainwater goods</u>		INCLUDED
6.3	<u>Colorbond corrugated wall claddings, incl. all sundries</u>		INCLUDED
6.4	<u>Metal sheet wall &amp; fascia claddings, incl. backings &amp; sundries</u>		INCLUDED
6.5	<u>Cement sheet wall claddings, incl. insulation, barriers &amp; sundries</u>		INCLUDED
6.6	<u>Danpalon roofing, incl. Freespan rafters, accessories &amp; sundries</u>		INCLUDED
	1. 0.48 Colorbond 'Spandek roof sheeting (CB1) including.		
	a. Safety mesh		
	b. Aircell Insulbreak 80		
	2. 0.55 Colorbond Fascia Cappings capping		
	3. 0.55 Colorbond apron & Barge flashings		
	4. 0.55 Colorbond Transition flashings		
	5. 1.2 304 Grade Stainless Steel Box Gutters including.		
	a. 0.55mm 304 grade Stainless Steel Sumps		
	6. 0.55 Colorbond Fabricated eaves gutters including.		
	a. Powder coated external support brackets.		
	b. 0.55 Colorbond stop ends.		
	c. Gutter Guard Mesh		
	7. 100mm dia. UPVC downpipe outlets		
	8. 0.42 Colorbond Spandek Wall Cladding (CB3) (Installed Vertically) including.		
	a. 35mm Top Hats (Installed Horizontally)		
	b. Aircell Permicav		
	c. 0.55 Colorbond Plinth flashings		
	d. 0.55 Colorbond Corner flashings		
	e. 0.55 Colorbond Door flashings		
	11. 0.55 Colorbond Flat Lock Cladding (CB2) installed Vertically including.		
	a. 35mm Top Hat Sections (Installed Horizontally)		
	b. 0.55 Colorbond corner flashings		

## 7 Windows & Doors

7.1	<u>Aluminium window &amp; door frames, incl. glazing, fixed louvres &amp; screens, hardware &amp; sundries</u>		\$64,000.00
	Supply Install windows including framing	18.00 no	
	Supply Install Aluminium Door Framing	9.00 no	
7.2	<u>Timber doors, hardware &amp; sundries</u>		\$39,000.00
	<u>Doors</u>		
	External Doors	13.00 no	
	Internal Double Doors	1.00 no	
	<u>Hardware</u>		
	External, Internal and Partition doors	1.00 no	
7.3	<u>Operable glazed louvre panels &amp; security screens</u>		\$30,000.00
	Horizontal Metal Louvres (MCG1)	1.00 no	
7.4	<u>Roller shutters</u>		\$4,000.00
	R34.0 - 1800mmW x 2100mmH	1.00 no	



## 8 Carpenter & Joiner / Linings / Painting

8.1	<u>Wall framing, incl bracing &amp; connections</u>		\$48,000.00
	<u>Carpentry</u>		
	GF - Stud Walls 90x45 MGP10 - 1.0mh	30.97 m2	
	GF - Stud Walls 90x45 MGP10 - 2.1mh	112.05 m2	
	Plywood bracing	9.00 no	
	GF - Stud Walls 90x45 MGP10 - 1.3mh	2.89 m2	
	GF - Stud Walls 90x45 MGP10 - 2.7mh	144.00 m2	
	GF - Stud Walls 90x45 MGP10 - 3.3mh	93.32 m2	
	Plywood bracing	13.00 no	
	Vapour barrier to walls		
	<u>Fascia &amp; Soffit</u>		
	Fascia board	76.24 m	
	Installation of above	76.24 m	
	<u>Skirting</u>		
	Skirting Type 2 - SKIRTING - KDHW, NOM. 12 THICK x 100 HIGH	50.38 m	
8.2	<u>Timber roof framing, incl bracing &amp; connections</u>		\$32,000.00
	OR1 - 63x130 LVL @900 Cts	201.77 m	
	RB5 - 360x65 GL18C	27.82 m	
	P1 - 120x45 MGP10 @900 Cts	79.80 m	
	L1 - 2/190x45 LVL (Upper Roof)	6.69 m	
	L1 - 150x63 LVL (Lower window sill)	3.35 m	
	L2 - 2/140x45 LVL (Upper Roof)	31.22 m	
	L2 - 150x63 LVL 13 (lower window sill)	17.99 m	
	Labour to install above	135.00 m2	
8.3	<u>Cabinetry, joinery, coat hook rails, bench seat slats &amp; timber skirtings</u>		\$94,000.00
	<u>Room 31.0 Change 3</u>	1.00 no	
	Modwood & steel seating.		
	Coat hook rail & coat hooks		
	PLY1 wall linings to 2500mm AFFL		
	PLY3 ceiling linings		
	<u>Room 31.1 Amenities 3</u>	1.00 no	
	2 x Laminex FAOB toilet partitions.		
	1 x Laminex FAOB shower partition - including seat.		
	1 x Laminex FAOB washroom toilet/shower combination		
	<u>Room 32.0 Change 4</u>	1.00 no	
	Modwood & steel seating.		
	Coat hook rail & coat hooks		
	PLY1 wall linings to 2500mm AFFL		
	PLY3 ceiling linings		
	<u>Room 32.1 Amenities 4</u>	1.00 no	
	2 x Laminex FAOB toilet partitions.		
	1 x Laminex FAOB shower partition - including seat.		
	1 x Laminex FAOB washroom toilet/shower combination		
	<u>Room 33.0 Referee Change</u>	1.00 no	
	Modwood & steel seating.		
	Coat hook rail & coat hooks		

	PLY1 wall linings to 2500mm AFFL		
	<u>Room 33.1 Referee Amenities</u>	1.00 no	
	1 x Laminex FAOB washroom toilet/shower combination.		
	Modwood & steel seating.		
	Coat hook rail & coat hooks		
	<u>Room 33.2 Referee Amenities</u>	1.00 no	
	1 x Laminex FAOB washroom toilet/shower combination.		
	Modwood & steel seating.		
	Coat hook rail & coat hooks		
	<u>Room 34.0 Store 3</u>	1.00 no	
	PLY2 wall linings		
	PLY4 ceiling linings		
	<u>Room 36.0 Public Female WC's</u>	1.00 no	
	Coat hooks		
	<u>Room 37.0 Public Male WC's</u>	1.00 no	
	Urinal backing, compact laminate.		
	5 x urinal dividers, Laminex FAOB.		
	Coat hooks.		
8.4	<u>Plasterboard &amp; cement sheet wall &amp; ceiling linings</u>		\$104,000.00
	<u>Partitions</u>		
	Supply and install R2.5 glass wool batt insulation to walls as per spec.		
	Supply and install 9mm Villa board to all walls as per spec		
	Supply and install access panels as per spec.		
	Supply and install stop bead to all skirt lines as per spec.		
	Supply and install square set to wall and ceiling junction as per spec.		
	Supply and install level 4 finish to all areas as per AUS Standard.		
	Sand all plasterworks as per level of finish required for relevant AUS Standard.		
8.5	<u>Ply wall &amp; ceiling linings</u>		INCLUDED
	Supply and install rondo key lock suspended ceiling system		
	Supply and install R3.5 glass wool batt insulation to ceilings as per spec.		
	Supply and install 13mm standard recessed edge plasterboard to all ceilings as per spec.		
	Supply and install 9mm Villa board to soffits as per spec		
	Supply and install square set to wall and ceiling junction as per spec.		
	Sand all plasterworks as per level of finish required for relevant AUS Standard.		
8.6	<u>Wall tiling</u>		\$78,000.00
	ST1 - CT1 & CT2 - Wall tiles	388.06 m2	
	Coved tiles	89.12 lm	
	<u>Tanking and Waterproofing Membranes</u>		
	Wet area walls	338.06 m2	
8.7	<u>Cement sheet soffit linings</u>		\$19,000.00
8.8	<u>WC and shower cubicles</u>		\$12,000.00
	<u>Fixtures and Fittings</u>	1.00 no	
	Grab rails		
	Mirrors		
	Shower Seat - ML 991		
	Soap dispenser		
	Toilet roll holder		

	Towel rail		
	Signage		
	Panic bolts		
	Soap dish		
	Shower Seat - ML 991		
	Shower curtain		
	Panic bolts		
	Baby change		
	Mop and rag hooks		
8.9	<u>Painting</u>		\$28,000.00
	Doors	13.00 no	
	Internal walls - Plasterboard	36.00 m2	
	Internal walls - Plywood	142.00 m2	
	Ceilings - Plasterboard	58.00 m2	
	Ceilings - Plywood	83.00 m	
	Timber skirting	53.00 lm	
	Timber reveals	68.00 lm	
	Downpipes	32.00 lm	
	Soffits	15.63 m2	
	Columns SHS	65.00 m2	
	External block anti-graffiti	136.00 m2	
	External fc sheet	26.00 m2	
	Fascia	20.00 m2	
	Floor internal + external epoxy	130.00 m2	
	Beam steel	98.00 lm	
	Rafters steel	270.00 lm	
8.1	<u>Fire extinguishers and blankets</u>		\$1,000.00
	Allowance fire extinguisher	1.00 no	
<b>9</b>	<b>Hydraulic Services</b>		
9.1	<u>Sanitary plumbing, incl. sanitary fixtures</u>	1.00 no	\$129,000.00
9.2	<u>Hot &amp; cold-water services incl. HW service and tapware, mixing valves etc.</u>	1.00 no	\$118,000.00
9.3	<u>Rainwater tanks, pumps, filtration, changeover valves etc, incl all accessories</u>	1.00 no	\$17,000.00
	Stage 1 - Rainwater Tanks excluding pump set	1.00 no	
9.4	<u>Stormwater detention system, incl earthworks and all accessories</u>	1.00 no	\$36,000.00
<b>10</b>	<b>Floor Finishes</b>		
10.1	<u>Regupol sheet rubber flooring &amp; accessories</u>		\$21,000.00
10.2	<u>Sheet vinyl &amp; coved skirtings</u>		INCLUDED
	ASV1 - TARKETT - GRANIT SAFE.T - 0696 - DARK BLUE	58.10 m2	
	ASV2 - TARKETT - GRANIT SAFE.T - 0698 - DARK GREY		
	SV1 - TARKETT - IQ GRANIT - 0233 - CONCRETE		
	RR1 - REGUPOL - EVEROLL - CLASSIC - PALAU (Core Palau) - 8mm (Sealed)	50.86 m2	
	Vinyl installation and grinding	108.96 m2	
10.3	<u>Ceramic floor tiling &amp; skirtings</u>		\$8,000.00
	ST1 - FT1 - Floor tiles	44.52 m2	
	Tanking and Waterproofing Membranes		
	Wet area floors	44.52 m2	
10.4	<u>Concrete sealer to slabs</u>		\$4,000.00

Sealer to slab 427.35 m2

**11 Mechanical Services \$23,000.00**

- Pacific HVAC Fans as specified
- Proprietary kitchen hood as specified
- Variable speed drives on fans KEF-1 and MAF-1 speeds interlinked
- Grilles as per schedule, external grilles to be powercoated to architects' requirements
- All solid and flexible duct work including backdraft shutters on fans as required
- All mechanical electrical
- Isolations only for demolition-by-demolition contractor
- Shop drawings in 2D CAD
- Testing, balancing and commissioning
- Operation and maintenance manuals

**12 Electrical Services \$121,000.00**

- Electrical works + Excavations relevant to electrical works
- Hand drawers

**13 Miscellaneous - List any other items here as appropriate \$1,000.00**

Cypress Pine Bollards - 0.9mH 5.00 no

**Sub Total – excluding GST \$1,891,000.00**

**Stage 2 (Separable Part B) - Grandstand Refurbishment & Extension**

**1 Preliminaries \$157,000.00**

- Site Set up \$11,000.00
- Plant and scaffolding \$16,000.00
- Temporary services \$4,000.00
- Waste management \$11,000.00
- Project management \$27,000.00
- Site foremen \$68,000.00
- Sundries and consumables \$20,000.00

**2 Demolition**

**2.1 Demolition works generally, incl disposal & recycling \$45,000.00**

Demolish and remove all internal walls, showers, pans, basins, doors and door jams, internal and external windows, and a section of raised concrete floor. Saw cut and remove sections of external walls to create new openings and enlarge others. Break up and remove sections of the external concrete paths. Demolish and remove the metal clad referee's walkway including sections of external fencing and gates, two sets of steel stairs, the metal cladding on the grandstand balustrade and the metal balustrade itself and the grandstand seating treads and risers. 138.19 m2

**2.2 Earthworks / Excavation / Site Preparation \$6,000.00**

- Demo of bitumen 132.17 m2
- Site Clearing 379.61 m2
- Excavation strip footing 18.18 m3

**2.3 Concrete pavements, incl. base, subbase etc INCLUDED**

- Demo of footpath 44.63 m3
- Demo of existing SOG and foundations 106.34 m3

**2.4 Gravel pavements, incl. base, subbase etc and landscape reinstatement \$2,000.00**

- Crushed rock 150mm 43.98 m3

**2.5 Stormwater drainage incl. grated drains, pits and connections INCLUDED**

2.6	<u>In-ground Sanitary Waste and Water Supply, incl. pits and connections</u>		INCLUDED
2.7	<u>Bitumen works incl. base, subbase etc, fencing and sundries</u>		\$17,000.00

Chainlink Gates

2 new gates and fencing on walkways – 1000x1200mm	1.00 no
G3.3 – 1000x2060mm – Galvanised finish	1.00 no
G8.1 & G8.2 – Double gates, each 1900x2100mm – Gal finish	1.00 no

Bitumen Works

Dig out and prep and level	54.08 m2
Crushed rock	8.11 m3
Bitumen - Supply and install	54.08 m2

### 3 Concrete & Masonry

3.1	<u>Building slabs &amp; footings inc. bored piers</u>		\$81,000.00
3.2	<u>Paving slabs</u>		INCLUDED

Concrete pumping	3.00 no
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Concrete placement

SF1 - Strip Footing - 600mmT	11.83 m3
SF2 - Strip Footing - 600mmT	6.35 m3
S1 - Waffle pod Slab - 120mmT	4.20 m3
S1 - Waffle pod Slab install and finish	35.01 m2
S1 - Waffle pod slab Setdown - 250mmT	0.82 m3
S2 - Slab on ground including ramp and stairs	16.27 m3
S2 - Slab on ground including ramp and stairs install and finishing	147.88 m2
EB1 - Edge Beam - 400mmT	1.90 m3
EB2 - Edge Beam - 400mmT	25.06 m3
S3 - Slab on ground - Set down - 120mmT	6.38 m3
S3 - Slab on ground - Set down - 120mmT install and finish	53.17 m2
ST1 - Slab thickening	3.70 m3
DP1 - Drilled Pier	17.00 no
DP2 - Drilled Pier	13.00 no
Vapour barrier under slabs	236.06 m2

Formworks

EB1 - Formworks	24.27 m
EB2 - Formworks	127.64 m
Void Formworks	18.00 no
Void Formworks - Edge	23.02 m2
Formworks to Ramps	2.00 no

Reinforcement

Board Piers	1.00 no
Strip footing & Block	1.00 no
Waffle slab - SI	1.00 no
Internal infill slab - Amenities 2	1.00 no
Tank, Serving, Apron & Spectators slab	1.00 no
Ext walkways, ramps & stairs	1.00 no

3.4	<u>Blockwork incl. all sundries</u>		\$33,000.00
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Masonry foundation	67.85 m2
External masonry veneer	9.44 m2

### 4 Steelwork

4.1	<u>Wall framing &amp; columns/posts incl. footing connections</u>	\$94,000.00
	<u>Structural Steel</u>	
	C2 - 89x5 CHS (12.5kg/m)	18.70 m
	C3 - 89x5 CHS (12.5kg/m)	8.00 m
	C4 - 89x3.5 CHS (9.07kg/m)	27.00 m
	C5 - 89x3.5 SHS (9.07kg/m)	20.20 m
	C6 - 100x5 SHS (14.2kg/m)	6.00 m
	C7 - 100x50x4 (8.49kg/m)	21.00 m
4.2	<u>Roof framing</u>	INCLUDED
	RB1 - 150x100x5 RHS (18.2 kg/m)	5.80 m
	RB4 - 200 x 13 EA (40.0 kg/m)	16.79 m
	RB6 - 100x6 SHS (16.7kg/m)	7.09 m
	L5 - 150x90x8 UA	8.70 m
	L6 - 100x8 EA (11.8kg/m)	9.28 m
	L7 - 180 PFC (20.9kg/m)	4.97 m
	L8 - 180 PFC + 100x8 EA (20.9kg/m + 11.80kg/m)	3.73 m
	S1 - 250 PFC (35.5kg/m)	18.73 m
	S2 - 150 PFC Walkway (17.7kg/m)	21.46 m
	S3 - 150 PFC Landing Trimmer (17.7kg/m)	5.89 m
<b>5 Metalwork</b>		
5.1	<u>Balustrades, handrails</u>	\$64,000.00
	GRANDSTAND AREA BALUSTRADES	1.00 no
	BALUSTRADE HOOPS B1	1.00 no
5.3	<u>Pressed metal door frames (NEED TO INCLUDE THIS)</u>	\$4,000.00
	External - Pressed Metal Door Frames	5.00 no
5.4	<u>Tactile indicators, stair nosings &amp; external signage</u>	\$24,000.00
	Tactile indicators	13.37 m2
	Stair nosings	53.00 no
	External Signage	
5.6	<u>Stainless steelwork &amp; powercoated steel claddings to external sinks</u>	INCLUDED
<b>6 Roofing &amp; Cladding</b>		
6.1	<u>Colorbond roof deck, incl. insulation, barriers, cappings &amp; sundries</u>	\$149,000.00
6.2	<u>Eaves gutters, downpipes and rainwater goods</u>	INCLUDED
6.3	<u>Colorbond corrugated wall claddings, incl. all sundries</u>	INCLUDED
6.4	<u>Metal sheet wall &amp; fascia claddings, incl. backings &amp; sundries</u>	INCLUDED
6.5	<u>Cement sheet wall claddings, incl. insulation, barriers &amp; sundries</u>	INCLUDED
6.6	<u>Danpalon roofing, incl. Freespan rafters, accessories &amp; sundries</u>	INCLUDED
	1. 10mm Danpalon Roof Deck (DP1) (Green Finish) including.	
	a. 100mm Freespan Bars	
	b. Free Span Bar Ends	
	c. Saddle Brackets for 100mm Bar	
	d. Polycarbonate Connector & End Cap Connector	
	2. 10mm Danpalon Wall Cladding (DP1) (Green Finish) including.	
	a. Aluminium Connector & End Cap	
	b. F section	
	c. .55 Colorbond surround flashings.	
	3. 0.48mm Colorbond Spandek Wall Cladding (To replace Existing Grandstand cladding	

- a. Fixing screws
  - b. .55 Colorbond plinth & window flashings
  - c. .55 Colorbond Corner flashings
4. 100mm dia. UPVC downpipe outlets

## 7 Windows & Doors

7.1	<u>Aluminium window &amp; door frames, incl. glazing, fixed louvres &amp; screens, hardware &amp; sundries</u>		\$40,000.00
	Supply Install windows including framing	9.00 no	
	Supply Install Aluminium Door Framing	6.00 no	
7.2	<u>Timber doors, hardware &amp; sundries</u>		\$35,000.00
	<u>Doors</u>		
	External Doors	5.00 no	
	Internal Double Doors	1.00 no	
	<u>Hardware</u>		
	External, Internal and Partition doors	1.00 no	
7.3	<u>Operable glazed louvre panels &amp; security screens</u>		INCLUDED
7.4	<u>Roller shutters</u>		\$9,000.00
	<u>Roller doors</u>		
	R5.1 = 1 x 1000mm W x 1370mm H	1.00 no	
	R5.2 = 1 x 1750mm W x 1300mm H	1.00 no	
	R7.2 = 1 x 1500mm W x 2100mm H	1.00 no	

## 8 Carpenter & Joiner / Linings / Painting

8.1	<u>Wall framing, incl bracing &amp; connections</u>		\$50,000.00
	<u>Carpentry</u>		
	GF - Stud Walls 90x45 MGP10 - 1.0mh	4.73 m2	
	GF - Stud Walls 90x45 MGP10 - 2.7mh	19.96 m2	
	GF - Stud Walls 90x45 MGP10 - 3.5mh	74.16 m2	
	GS - GF - Wall Battens - 2.0mh	20.61 m2	
	Bracing of walls	5.00 qty	
	GF - Stud Walls 90x45 MGP10 - 1.0mh	2.07 m2	
	GF - Stud Walls 90x45 MGP10 - 2.7mh	76.50 m2	
	GF - Stud Walls 90x45 MGP10 - 3.5mh	138.44 m2	
	Bracing of walls	5.00 m2	
	Vapour barrier to walls	336.47 m2	
	<u>Fascia &amp; Soffit</u>		
	Fascia board	85.02 m	
	New gutter support	85.02 m	
	Installation of above	85.02 m	
	New box gutter	4.00 m	
	Installation of above	4.00 m	
	<u>Skirting</u>		
	Skirting Type 2 - SKIRTING - KDHW, NOM. 12 THICK x 100 HIGH	45.46 m	
	Grandstand Skirting - SKIRTING - KDHW, NOM. 20 THICK x 190 HIGH	45.46 m	
8.2	<u>Timber roof framing, incl bracing &amp; connections</u>		\$4,000.00
	OR1 - 63x130 LVL @900 Cts	60.47 m	
	T14 - RO 02 - P2 - C10010 @ 900 Cts	25.70 m	
8.3	<u>Cabinetry, joinery, coat hook rails, bench seat slats &amp; timber skirtings</u>		\$154,000.00

<u>Room 1.0 Change 1</u>	1.00 no
Modwood & steel seating.	
Coat hook rail & coat hooks	
PLY1 wall linings to 2500mm AFFL	
PLY3 ceiling linings	
<u>Room 1.1 Amenities 1</u>	1.00 no
2 x Laminex FAOB toilet partitions.	
1 x Laminex FAOB shower partition - including seat.	
1 x Laminex FAOB washroom toilet/shower combination	
<u>Room 2.0 Change 2</u>	1.00 no
Modwood & steel seating.	
Coat hook rail & coat hooks	
PLY1 wall linings to 2500mm AFFL	
PLY3 ceiling linings	
<u>Room 2.1 Amenities 1</u>	1.00 no
2 x Laminex FAOB toilet partitions.	
1 x Laminex FAOB shower partition - including seat.	
1 x Laminex FAOB washroom toilet/shower combination	
<u>Room 3.0 Referee Change</u>	1.00 no
Modwood & steel seating.	
Coat hook rail & coat hooks	
PLY1 wall linings to 2500mm AFFL	
<u>Room 3.2 Referee Amenities</u>	1.00 no
1 x Laminex FAOB washroom toilet/shower combination.	
Modwood & steel seating.	
Coat hook rail & coat hooks	
<u>Room 3.3 Referee Amenities</u>	1.00 no
PLY2 wall linings inc battens	
PLY4 ceiling linings	
Coat hook rail & coat hooks	
<u>Room 4.0 First Aid</u>	1.00 no
Joinery laminate bench & overheads, including steel leg.	
Coat hooks	
<u>Room 5.0 Kiosk</u>	1.00 no
Joinery including stainless steel works	
Stainless steel wall linings	
<u>Room 6.0 Cleaners</u>	1.00 no
Overhead Shelving	
<u>Room 7.1 Caretakers/Store 1</u>	1.00 no
PLY2 wall linings inc battens	
PLY4 ceiling linings	
<u>Room 7.2 Store 2</u>	1.00 no
PLY2 wall linings inc battens	
PLY4 ceiling linings	
<u>Bench seat frames, external sink frames &amp; sundry metalwork</u>	
BS2 - Parkway Seat - Armrests	3.00 no
BS3 - Eco Spectator Bench - No Armrests	2.00 no

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8.4	<u>Modwood decking and steps to Grandstand seating, incl all accessories</u>		\$43,000.00
	Modwood 88x23	1,043.42 m	
	Modwood 137x23	463.52 m	
	Installation of above	1,506.94 m	
8.5	<u>Plasterboard &amp; cement sheet wall &amp; ceiling linings</u>		\$44,000.00
	Supply and install R2.5 glass wool batt insulation to walls as per spec.		
	Supply and install 9mm Villa board to all walls as per spec.		
	Supply and install access panels as per spec.		
	Supply and install stop bead to all skirt lines as per spec.		
	Supply and install square set to wall and ceiling junction as per spec.		
	Supply and install level 4 finish to all areas as per AUS Standard.		
	Sand all plasterworks as per level of finish required for relevant AUS Standard.		
8.6	<u>Ply wall &amp; ceiling linings</u>		INCLUDED
	Supply and install rondo key lock suspended ceiling system		
	Supply and install R3.5 glass wool batt insulation to ceilings as per spec.		
	Supply and install 13mm standard recessed edge plasterboard to all ceilings as per spec.		
	Supply and install 9mm Villa board to soffits as per spec.		
	Supply and install square set to wall and ceiling junction as per spec.		
	Sand all plasterworks as per level of finish required for relevant AUS Standard.		
8.7	<u>Wall tiling</u>		\$27,000.00
	ST1 - CT1 & CT2 - Wall tiles	150.22 m2	
	<u>Tanking and Waterproofing Membranes</u>		
	Wet area walls	150.22 m2	
8.8	<u>Cement sheet soffit linings</u>		\$18,000.00
	Cement sheet soffit linings	15.60 m2	
	Installation of above	15.60 m2	
8.9	<u>WC and shower cubicles</u>		\$25,000.00
	<u>Fixtures and Fittings</u>	1.00 no	
	Grab rails		
	Mirrors		
	Shower Seat - ML 991		
	Soap dispenser		
	Toilet roll holder		
	Towel rail		
	Signage		
	Panic bolts		
	Soap dish		
	Shower Seat - ML 991		
	Shower curtain		
	Panic bolts		
	Baby change		
	Mop and rag hooks		
8.10	<u>Painting</u>		\$53,000.00
	Doors	14.00 no	
	Internal walls - Plasterboard	45.00 m2	
	Internal walls - Plywood	220.00 m2	
	Ceilings - Plasterboard	76.00 m2	

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	Ceilings - Plywood	75.00 m2	
	Timber skirting	86.00 m	
	Timber reveals	46.00 m	
	Downpipes	24.00 m	
	Soffits	5.00 m2	
	Balustrades	62.00 m	
	Floors epoxy	136.00 m2	
	Bollards	10.00 no	
	Columns SHS	46.00 m	
	Block walls	135.00 m2	
	Block walls anti-graffiti	135.00 m2	
	Trusses steel web	389.00 m	
	Concrete grinding	266.00 m2	
	Back wall of grandstand - paint existing cladding only	85.14 m2	
8.11	<u>Fire extinguishers and blankets</u>		\$1,000.00
	Allowance fire extinguisher	1.00 no	
<b>9</b>	<b>Hydraulic Services</b>		
9.1	<u>Sanitary plumbing, incl. sanitary fixtures</u>	1.00 no	\$89,000.00
9.2	<u>Hot &amp; cold-water services incl. HW service and tapware, mixing valves etc.</u>	1.00 no	\$100,000.00
<b>10</b>	<b>Floor Finishes</b>		
10.1	<u>Regupol sheet rubber flooring &amp; accessories</u>	135.93 m2	\$27,000.00
10.2	<u>Sheet vinyl &amp; coved skirtings</u>		INCLUDED
	ASV1 - TARKETT - GRANIT SAFE.T - 0696 - DARK BLUE	86.06 m2	
	ASV2 - TARKETT - GRANIT SAFE.T - 0698 - DARK GREY		
	SV1 - TARKETT - IQ GRANIT - 0233 - CONCRETE		
	RR1 - REGUPOL - EVEROLL - CLASSIC - PALAU (Core Palau) - 8mm (Sealed)	49.87 m2	
	Floor screed and grinding	135.93 m2	
10.3	<u>Ceramic floor tiling &amp; skirtings</u>		NOT REQUIRED
10.4	<u>Concrete sealer to slabs</u>		\$2,000.00
	Sealer to slab	184.61 m2	
<b>11</b>	<b>Mechanical Services</b>		<b>\$76,000.00</b>
	Pacific HVAC Fans as specified		
	Proprietary kitchen hood as specified		
	Variable speed drives on fans KEF-1 and MAF-1 speeds interlinked		
	Grilles as per schedule, external grilles to be powercoated to architects requirements		
	All solid and flexible duct work including backdraft shutters on fans as required		
	All mechanical electrical		
	Isolations only for demolition-by-demolition contractor		
	Shop drawings in 2D CAD		
	Testing, balancing and commissioning		
	Operation and maintenance manuals		
<b>12</b>	<b>Electrical Services</b>		<b>\$96,000.00</b>
	Electrical works + Excavations relevant to electrical works		
<b>13</b>	<b>Miscellaneous - List any other items here as appropriate</b>		<b>\$1,000.00</b>
	Cypress Pine Bollards - 0.9mH	5.00 no	
	<b>Sub Total – excluding GST</b>		<b>\$1,570,000.00</b>

We trust that the above detailed quotation meets with your approval, however if you have any questions, or if I can be of assistance to you in any other way, please do not hesitate to contact me.

Thank you for your consideration.

Yours faithfully,

Cormac Gray

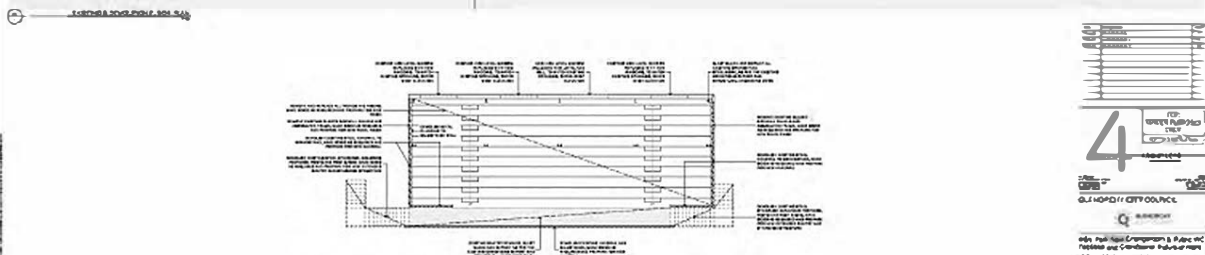
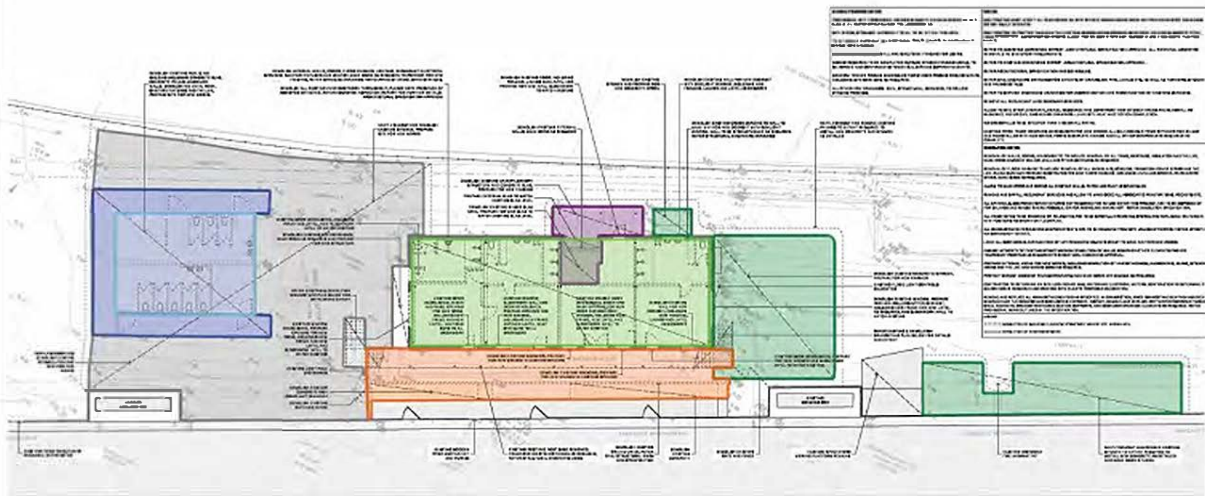


**MATRIX ESTIMATING**

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## Legend

T01 - Demolition\00 - Stage 1		
	T01 - DM 01 - CP - Demolish existing public WC	62.13 m2
	T01 - DM 02 - CP - Demo of footpath	45.10 m2
	T01 - DM 03 - CP - Demo of Bitumen	236.58 m2
	T01 - DM 04 - CP - Demo of existing SOG	62.13 m2
T01 - Demolition\00 - Stage 2		
	T01 - DM 01 - GS - Demolish existing internal finishes	138.19 m2
	T01 - DM 02 - GS - Demolish ex. conc. walkway	79.29 m2
	T01 - DM 03 - GS - Demolish of Bitumen	132.17 m2
	T01 - DM 04 - GS - Demolish existing slab	19.56 m2



NO.	DESCRIPTION	DATE
1	ISSUED FOR TENDER	10/01/2024
2	REVISED	10/01/2024
3	REVISED	10/01/2024
4	REVISED	10/01/2024
5	REVISED	10/01/2024
6	REVISED	10/01/2024
7	REVISED	10/01/2024
8	REVISED	10/01/2024
9	REVISED	10/01/2024
10	REVISED	10/01/2024

**4**
  
 CITY OF HAMILTON

City of Hamilton Engineering & Public Works  
 Technical Services Department  
 4000 K. Stoney Rd. #100  
 Hamilton, ON L8N 3Z5  
 905.571.2200  
 www.hamilton.ca

FOR TENDER  
 EIP 11

PROJECT NO. 2023-01-001  
 DRAWING NO. A1.02 T2

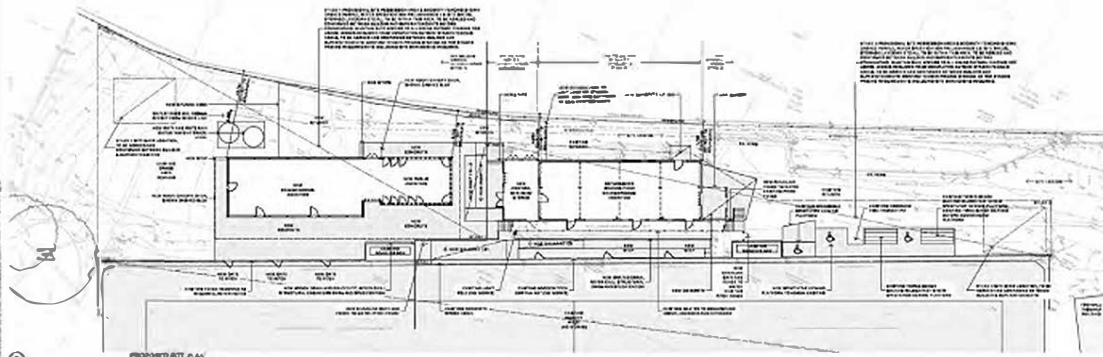
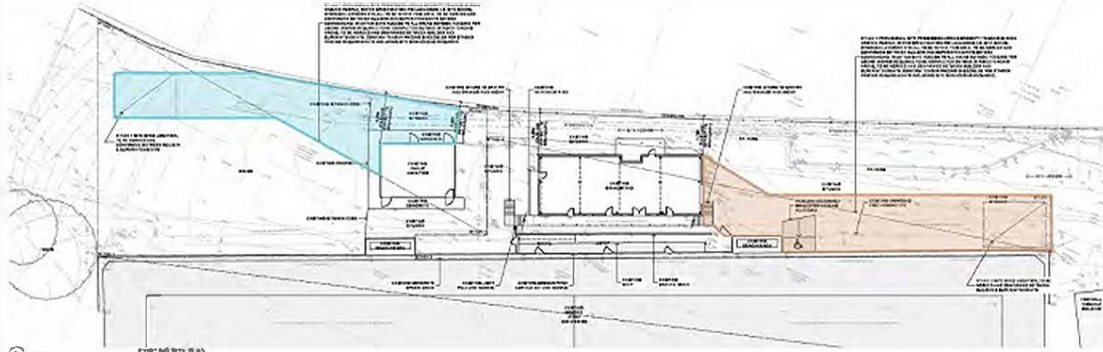
EXISTING & DEMOLITION PLANS



MATRIX ESTIMATING

Legend

- T02 - Groundworks\00 - Stage 1
- T02 - GW 05 - CP - Crushed Rock - 150mm 37.87 m3
- T02 - Groundworks\00 - Stage 2
- T02 - GW 05 - GS - Crushed Rock - 150mm 43.98 m3



**NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 5400 PART 1:2000 AND BS 5400 PART 2:2000 FOR STEEL STRUCTURES AND BS 5400 PART 3:2000 FOR STEEL JOINTS.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 5950 PART 1:2000 AND BS 5950 PART 2:2000 FOR TIMBER STRUCTURES.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 8100 PART 1:2000 AND BS 8100 PART 2:2000 FOR ALUMINIUM CURTAIN WALLS AND BS 8100 PART 3:2000 FOR ALUMINIUM WINDOW AND DOOR FRAMES.

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 1188 PART 1:2000 AND BS 1188 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 1188 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 1362 PART 1:2000 AND BS 1362 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 1362 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 1502 PART 1:2000 AND BS 1502 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 1502 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 1625 PART 1:2000 AND BS 1625 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 1625 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 1770 PART 1:2000 AND BS 1770 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 1770 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 1865 PART 1:2000 AND BS 1865 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 1865 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 1991 PART 1:2000 AND BS 1991 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 1991 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2007 PART 1:2000 AND BS 2007 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2007 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2154 PART 1:2000 AND BS 2154 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2154 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2264 PART 1:2000 AND BS 2264 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2264 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2399 PART 1:2000 AND BS 2399 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2399 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2512 PART 1:2000 AND BS 2512 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2512 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

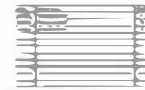
16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2622 PART 1:2000 AND BS 2622 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2622 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2738 PART 1:2000 AND BS 2738 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2738 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2835 PART 1:2000 AND BS 2835 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2835 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 2907 PART 1:2000 AND BS 2907 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 2907 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.

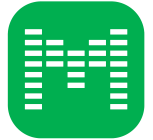
20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BRITISH STANDARD BS 3000 PART 1:2000 AND BS 3000 PART 2:2000 FOR GLASS CURTAIN WALLS AND BS 3000 PART 3:2000 FOR GLASS WINDOW AND DOOR FRAMES.



**4**  
 ARCHITECTS

CLEWORTH CITY COUNCIL  
 SLENDON  
 F27 Park Lane, Cleworth & Public Halls  
 18200 N. Gower, T18, R18  
 Notts  
 NG50 2DZ  
 01509 20223

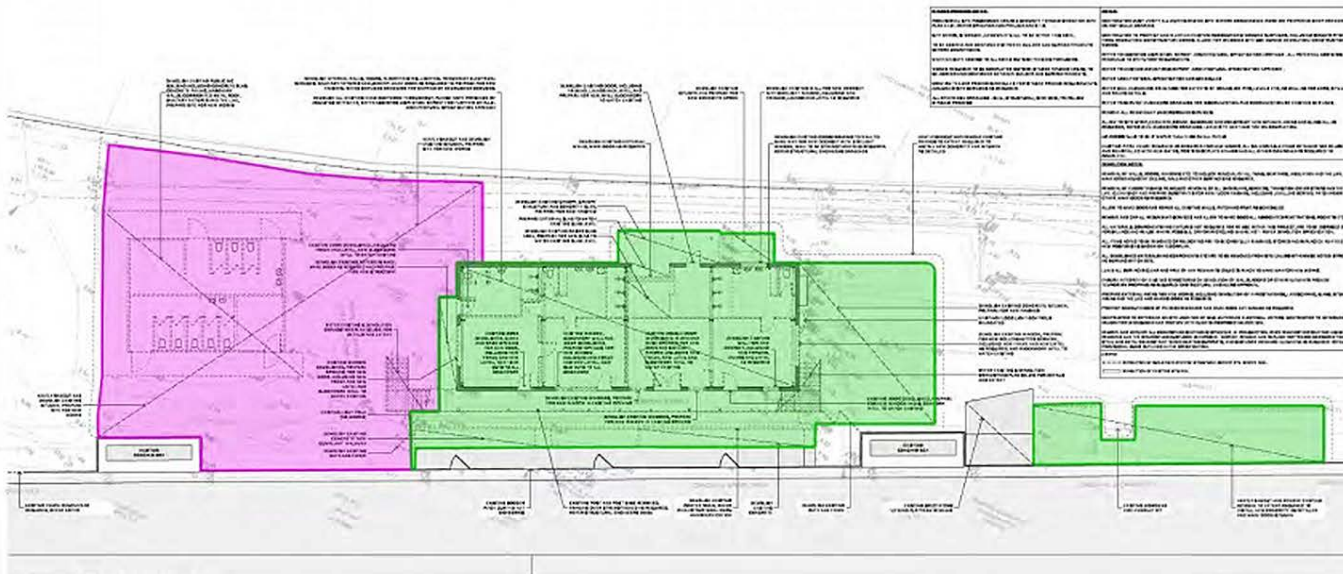
**A1.01 T2**



**MATRIX ESTIMATING**

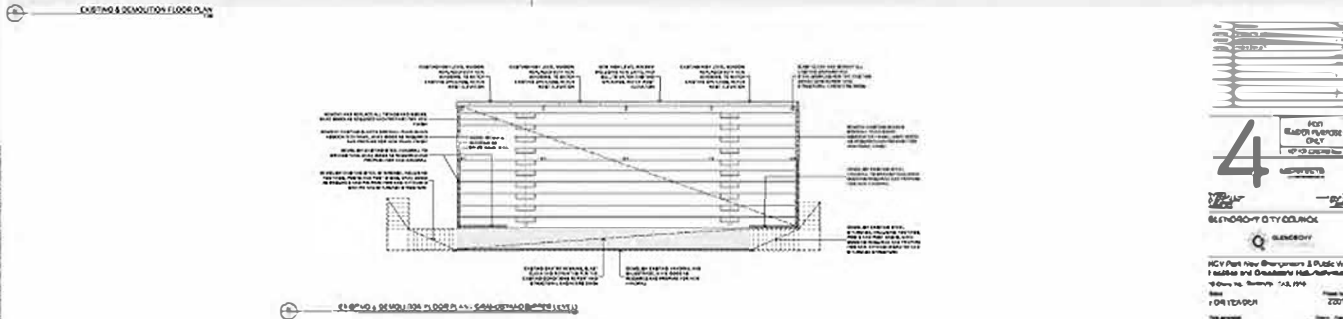
### Legend

- T02 - Groundworks\00 - Stage 1
- T02 - GW 01 - CP - Site Clearing 351.66 m2
- T02 - Groundworks\00 - Stage 2
- T02 - GW 01 - GS - Site Clearing 379.61 m2



**GENERAL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION REGULATIONS.



**4**

FOR  
RADIO PURPOSES  
ONLY

SELENDOR CITY COUNCIL

SELENDOR

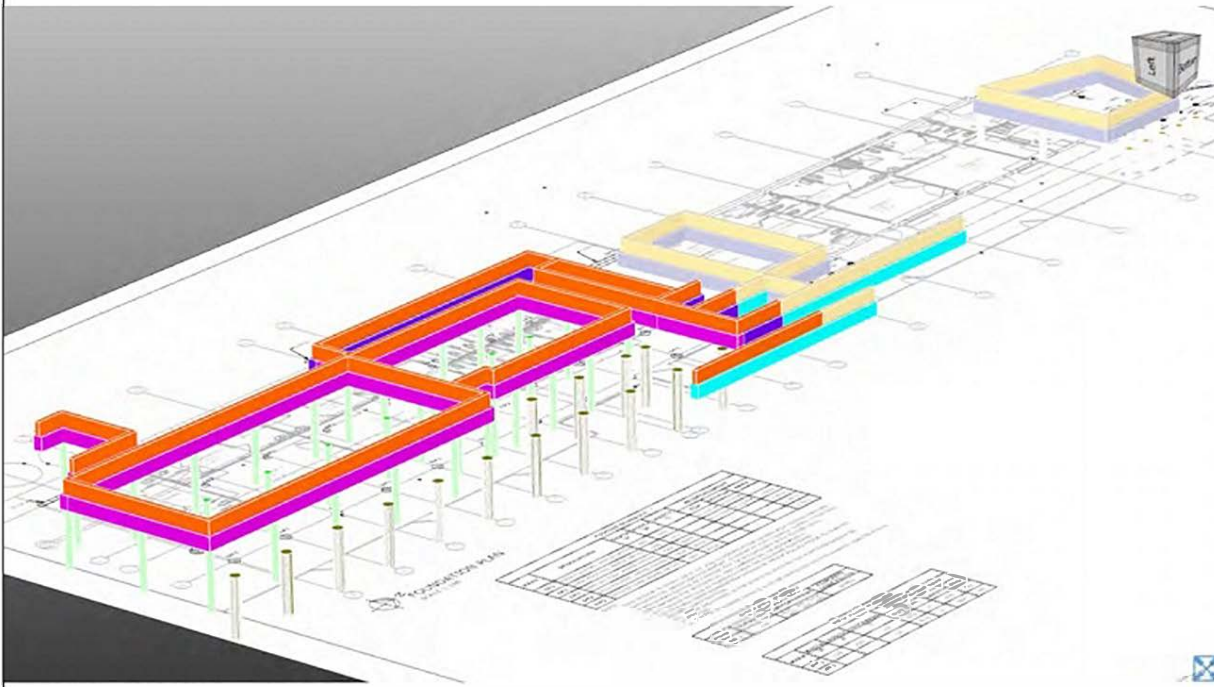
HCV Part Two (Requirements & Public Work) and Greater's Hall-Appendix  
 10/20/2018, Version 1.0, 2018  
 Date: 20/11/18  
 Project Number: 201711  
 Revision: 05/2018  
 Scale: 05/11/18

EXISTING & DEMOLITION  
PLANS

**A1.02 T2**



MATRIX ESTIMATING



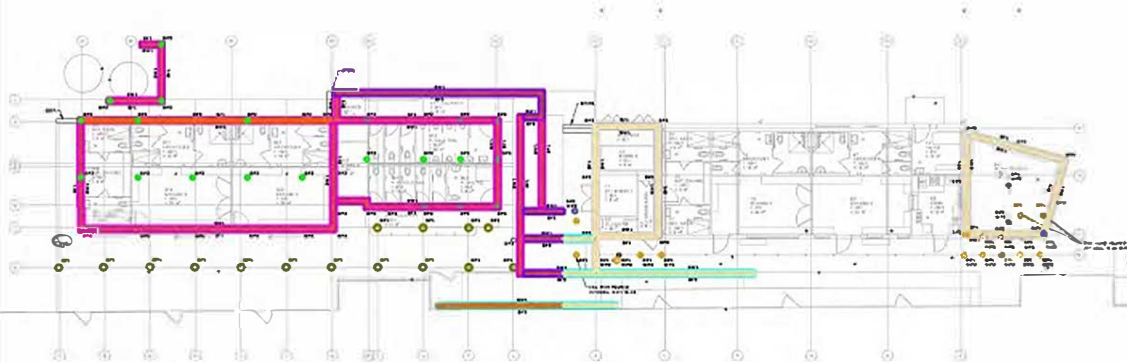
### Legend

T03 - Concrete\00 - Stage 1	
T03 - GF - CONC 01 - CP - SF1 - Strip Footing - 600mmT	24.39 m3
T03 - GF - CONC 02 - CP - SF2 - Strip Footing - 600mmT	5.85 m3
T03 - GF - CONC 08 - CP - DP1 - Drilled Pier	15.00 no
T03 - GF - CONC 09 - CP - DP2 - Drilled Pier	35.00 no
T03 - Concrete\00 - Stage 2	
T03 - GF - CONC 01 - GS - SF1 - Strip Footing - 600mmT	11.83 m3
T03 - GF - CONC 02 - GS - SF2 - Strip Footing - 600mmT	6.35 m3
T03 - GF - CONC 08 - GS - DP1 - Drilled Pier	17.00 no
T03 - GF - CONC 09 - GS - DP2 - Drilled Pier	13.00 no
T07 - Masonry\00 - Stage 1	
T07 - GF - MSN 01 - CP - BW1 - Masonry Foundation - 600mmH	81.19 m2
T07 - Masonry\00 - Stage 2	
T07 - GF - MSN 01 - GS - BW1 - Masonry Foundation	40.54 m2



### Legend

- T03 - Concrete\00 - Stage 1
- T03 - GF - CONC 01 - CP - SF1 - Strip Footing - 600mmT 24.39 m3
- T03 - GF - CONC 02 - CP - SF2 - Strip Footing - 600mmT 5.85 m3
- T03 - GF - CONC 08 - CP - DP1 - Drilled Pier 15.00 no
- T03 - GF - CONC 09 - CP - DP2 - Drilled Pier 35.00 no
- T03 - Concrete\00 - Stage 2
- T03 - GF - CONC 01 - GS - SF1 - Strip Footing - 600mmT 11.83 m3
- T03 - GF - CONC 02 - GS - SF2 - Strip Footing - 600mmT 6.35 m3
- T03 - GF - CONC 08 - GS - DP1 - Drilled Pier 17.00 no
- T03 - GF - CONC 09 - GS - DP2 - Drilled Pier 13.00 no
- T07 - Masonry\00 - Stage 1
- T07 - GF - MSN 01 - CP - BW1 - Masonry Foundation - 600mmH 81.19 m2
- T07 - Masonry\00 - Stage 2
- T07 - GF - MSN 01 - GS - BW1 - Masonry Foundation 40.54 m2



FOUNDATION PLAN  
SCALE 1:500

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	CONCRETE	m3	100.00	100.00	100.00
2	MASONRY	m2	121.73	121.73	121.73
3	DRILLED PIERS	NO	52.00	52.00	52.00
4	STRIP FOOTING	m	100.00	100.00	100.00
5	TOTAL				273.73

1. THIS DRAWING IS THE PROPERTY OF THE ENGINEER AND SHOULD NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

2. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE FOUNDATION WORK SHOWN ON THIS DRAWING.

3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE RELEVANT AUTHORITIES.

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	CONCRETE	m3	100.00	100.00	100.00
2	MASONRY	m2	121.73	121.73	121.73
3	DRILLED PIERS	NO	52.00	52.00	52.00
4	STRIP FOOTING	m	100.00	100.00	100.00
5	TOTAL				273.73

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	CONCRETE	m3	100.00	100.00	100.00
2	MASONRY	m2	121.73	121.73	121.73
3	DRILLED PIERS	NO	52.00	52.00	52.00
4	STRIP FOOTING	m	100.00	100.00	100.00
5	TOTAL				273.73

### TENDER

THE ALL REQUIRED CONDITIONS APPLY

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	CONCRETE	m3	100.00	100.00	100.00
2	MASONRY	m2	121.73	121.73	121.73
3	DRILLED PIERS	NO	52.00	52.00	52.00
4	STRIP FOOTING	m	100.00	100.00	100.00
5	TOTAL				273.73

REVISED NEW CONDITIONS APPLY TO WC  
Part 1 and 2 of the Bill of Materials  
to be used for the tender.

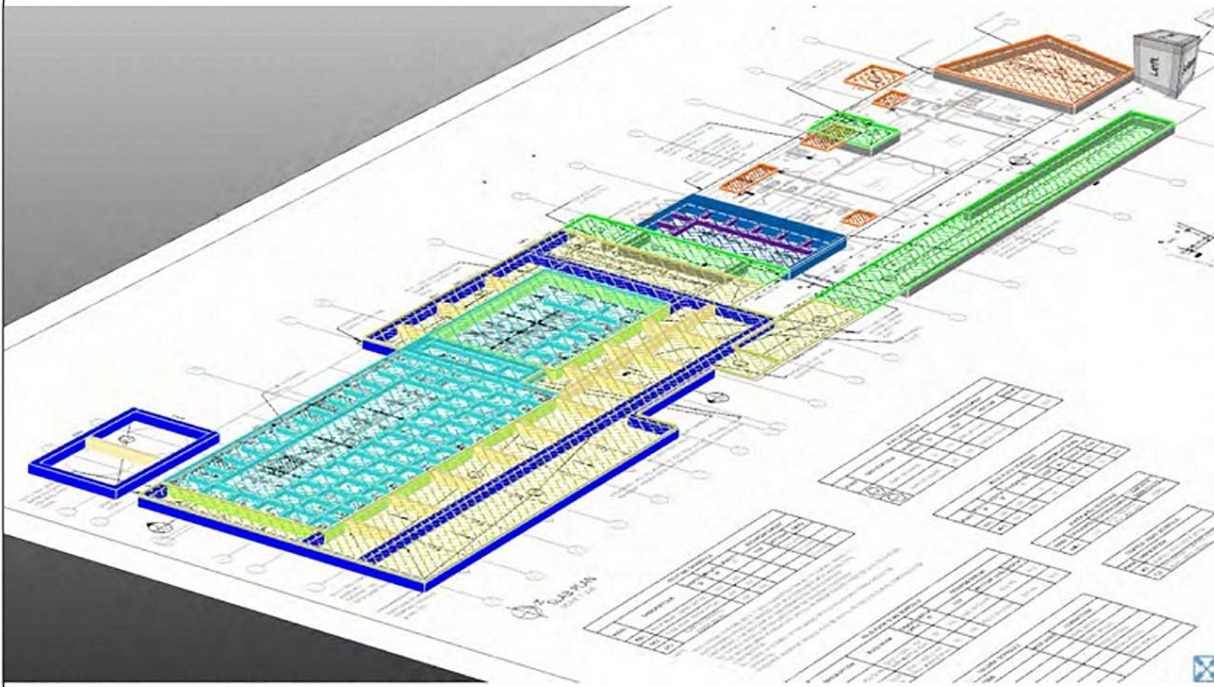
4 FOUNDATION PLAN

216112-S01 T2 12



MATRIX ESTIMATING





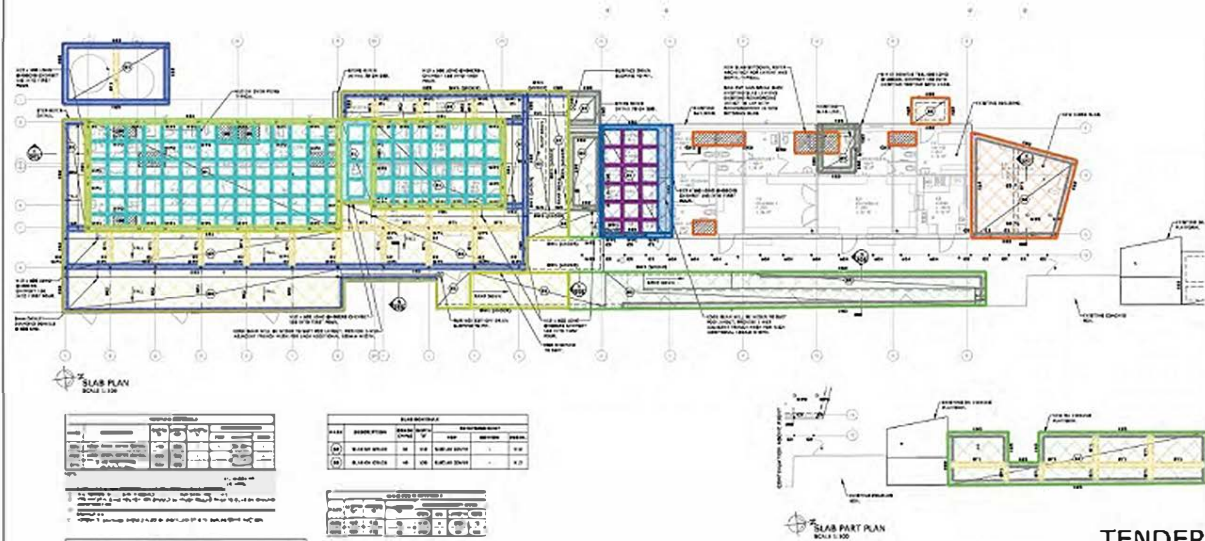
### Legend

T03 - Concrete\00 - Stage 1		
	T03 - GF - CONC 03 - CP - S1 - Waffle pod Slab - 120mmT	22.32 m3
	T03 - GF - CONC 03a - CP - S1 - Waffle setdown - 250mmT	7.69 m3
	T03 - GF - CONC 04 - CP - S2 - Slab on ground	26.55 m3
	T03 - GF - CONC 05 - CP - EB1 - Edge Beam - 400mmT	9.02 m3
	T03 - GF - CONC 06 - CP - EB2 - Edge Beam - 400mmT	13.72 m3
	T03 - GF - CONC 07 - CP - ST1 - Slab thickening - 400mmT	5.22 m3
T03 - Concrete\00 - Stage 2		
	T03 - GF - CONC 03 - GS - S1 - Waffle pod Slab - 120mmT	4.20 m3
	T03 - GF - CONC 03a - GS - S1 - Waffle setdown - 250mmT	0.82 m3
	T03 - GF - CONC 04 - GS - S2 - Slab on ground - 110mmT	16.27 m3
	T03 - GF - CONC 05 - GS - EB1 - Edge Beam - 400mmT	4.21 m3
	T03 - GF - CONC 06 - GS - EB2 - Edge Beam - 400mmT	16.71 m3
	T03 - GF - CONC 07 - GS - S3 - Slab on ground	6.38 m3
	T03 - GF - CONC 07 - GS - ST1 - Slab thickening - 600mmT	3.70 m3



### Legend

- T03 - Concrete00 - Stage 1
- ☒ T03 - GF - CONC 03 - CP - S1 - Waffle pod Slab - 120mmT 22.32 m3
  - ☒ T03 - GF - CONC 03a - CP - S1 - Waffle setdown - 250mmT 7.69 m3
  - ☒ T03 - GF - CONC 04 - CP - S2 - Slab on ground 26.55 m3
  - ☒ T03 - GF - CONC 05 - CP - EB1 - Edge Beam - 400mmT 9.02 m3
  - ☒ T03 - GF - CONC 06 - CP - EB2 - Edge Beam - 400mmT 13.72 m3
  - ☒ T03 - GF - CONC 07 - CP - ST1 - Slab thickening - 400mmT 5.22 m3
- T03 - Concrete00 - Stage 2
- ☒ T03 - GF - CONC 03 - GS - S1 - Waffle pod Slab - 120mmT 4.20 m3
  - ☒ T03 - GF - CONC 03a - GS - S1 - Waffle setdown - 250mmT 0.82 m3
  - ☒ T03 - GF - CONC 04 - GS - S2 - Slab on ground - 110mmT 16.27 m3
  - ☒ T03 - GF - CONC 05 - GS - EB1 - Edge Beam - 400mmT 4.21 m3
  - ☒ T03 - GF - CONC 06 - GS - EB2 - Edge Beam - 400mmT 16.71 m3
  - ☒ T03 - GF - CONC 07 - GS - S3 - Slab on ground 6.38 m3
  - ☒ T03 - GF - CONC 07 - GS - ST1 - Slab thickening - 600mmT 3.70 m3



NO.	DESCRIPTION	UNIT	QTY	AMOUNT
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...

NO.	DESCRIPTION	UNIT	QTY	AMOUNT
4	...	...	...	...
5	...	...	...	...
6	...	...	...	...

NO.	DESCRIPTION	UNIT	QTY	AMOUNT
7	...	...	...	...
8	...	...	...	...
9	...	...	...	...

NO.	DESCRIPTION	UNIT	QTY	AMOUNT
10	...	...	...	...
11	...	...	...	...
12	...	...	...	...

NO.	DESCRIPTION	UNIT	QTY	AMOUNT
13	...	...	...	...
14	...	...	...	...

### TENDER

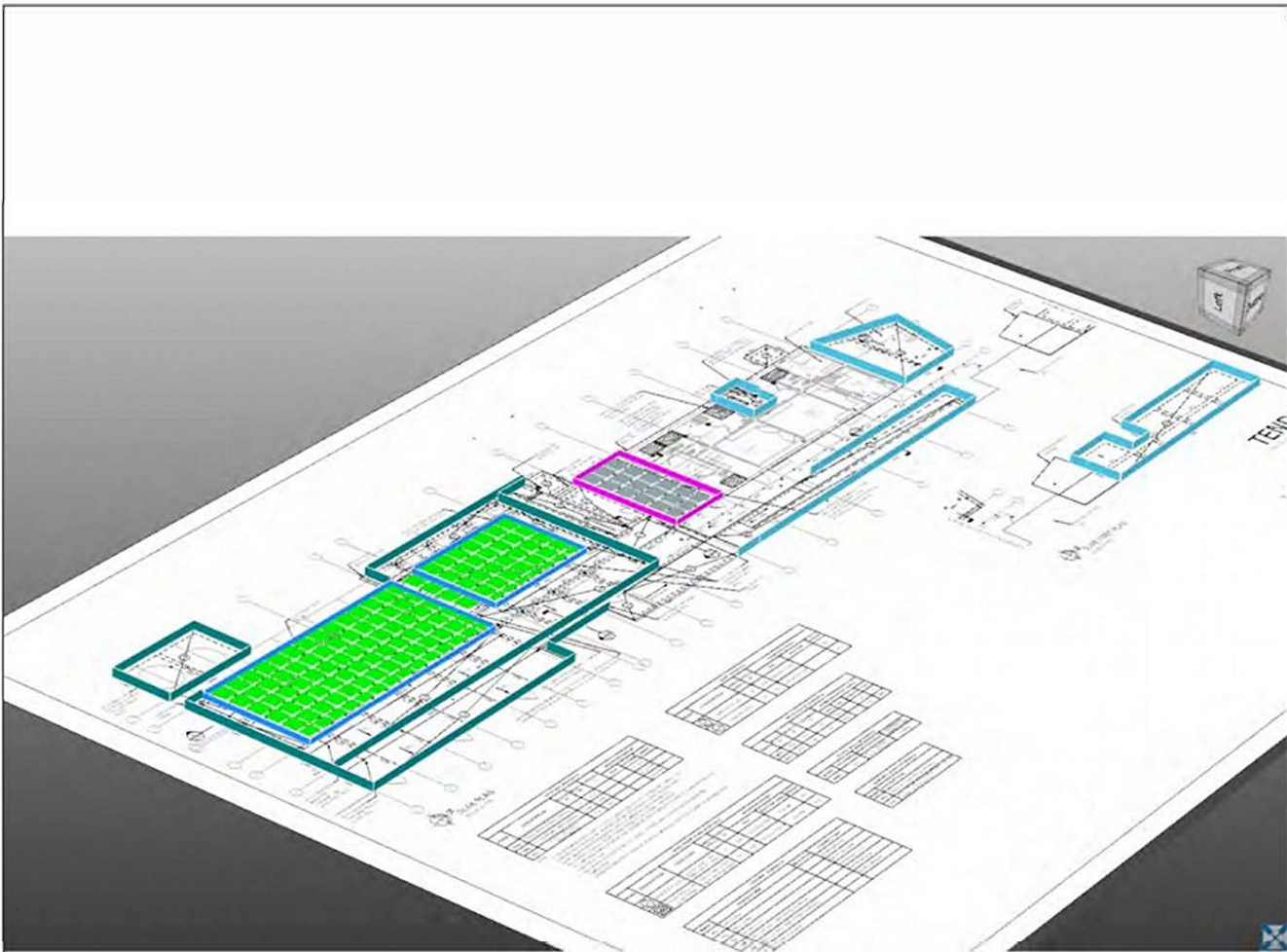
216112-S02 T2 12

4

MATRIX ESTIMATING



MATRIX ESTIMATING



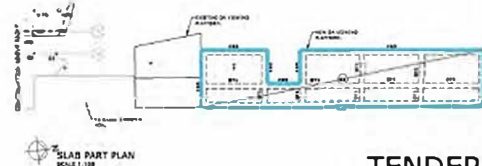
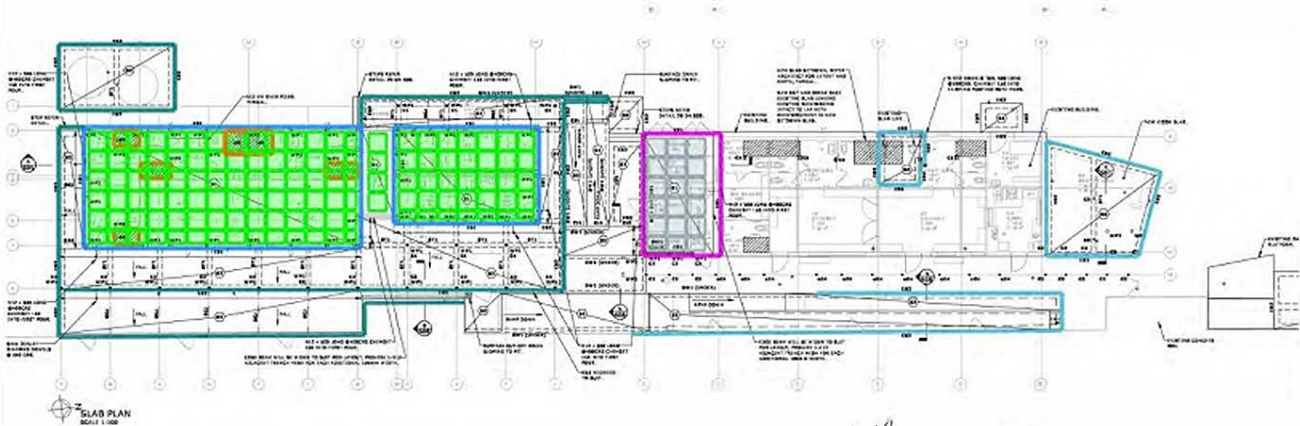
### Legend

T04 - Formwork\00 - Stage 1		
<span style="color: blue;">■</span>	T04 - GF - FW 01 - CP - EB1 - Formworks	77.61 m
<span style="color: teal;">■</span>	T04 - GF - FW 02 - CP - EB2 - Formworks	124.25 m
<span style="color: green;">■</span>	T04 - GF - FW 03 - CP - Void Formworks	123.00 no
<span style="color: orange;">■</span>	T04 - GF - FW 04 - Set Down Formworks	29.18 m
T04 - Formwork\00 - Stage 2		
<span style="color: magenta;">■</span>	T04 - GF - FW 01 - GS - EB1 - Formworks	24.27 m
<span style="color: lightblue;">■</span>	T04 - GF - FW 02 - GS - EB2 - Formworks	127.64 m
<span style="color: grey;">■</span>	T04 - GF - FW 03 - GS - Void Formworks	18.00 no



### Legend

- T04 - Formwork\00 - Stage 1
- T04 - GF - FW 01 - CP - EB1 - Formworks 77.61 m
- T04 - GF - FW 02 - CP - EB2 - Formworks 124.25 m
- T04 - GF - FW 03 - CP - Void Formworks 123.00 m
- T04 - GF - FW 04 - Set Down Formworks 29.18 m
- T04 - Formwork\00 - Stage 2
- T04 - GF - FW 01 - GS - EB1 - Formworks 24.27 m
- T04 - GF - FW 02 - GS - EB2 - Formworks 127.64 m
- T04 - GF - FW 03 - GS - Void Formworks 18.00 m



NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	REMARKS
001	FORMWORK	m <sup>2</sup>	123.00	1.00	123.00	
002	FORMWORK	m <sup>2</sup>	77.61	1.00	77.61	
003	FORMWORK	m <sup>2</sup>	124.25	1.00	124.25	
004	FORMWORK	m <sup>2</sup>	29.18	1.00	29.18	

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	REMARKS
001	FORMWORK	m <sup>2</sup>	123.00	1.00	123.00	
002	FORMWORK	m <sup>2</sup>	77.61	1.00	77.61	
003	FORMWORK	m <sup>2</sup>	124.25	1.00	124.25	
004	FORMWORK	m <sup>2</sup>	29.18	1.00	29.18	

NOTES:  
 1. THIS SLAB IS BASED ON A 150mm THICKNESS OF CONCRETE.  
 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	REMARKS
001	FORMWORK	m <sup>2</sup>	123.00	1.00	123.00	
002	FORMWORK	m <sup>2</sup>	77.61	1.00	77.61	
003	FORMWORK	m <sup>2</sup>	124.25	1.00	124.25	
004	FORMWORK	m <sup>2</sup>	29.18	1.00	29.18	

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	REMARKS
001	FORMWORK	m <sup>2</sup>	123.00	1.00	123.00	
002	FORMWORK	m <sup>2</sup>	77.61	1.00	77.61	
003	FORMWORK	m <sup>2</sup>	124.25	1.00	124.25	
004	FORMWORK	m <sup>2</sup>	29.18	1.00	29.18	

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	REMARKS
001	FORMWORK	m <sup>2</sup>	123.00	1.00	123.00	
002	FORMWORK	m <sup>2</sup>	77.61	1.00	77.61	
003	FORMWORK	m <sup>2</sup>	124.25	1.00	124.25	
004	FORMWORK	m <sup>2</sup>	29.18	1.00	29.18	

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	REMARKS
001	FORMWORK	m <sup>2</sup>	123.00	1.00	123.00	
002	FORMWORK	m <sup>2</sup>	77.61	1.00	77.61	
003	FORMWORK	m <sup>2</sup>	124.25	1.00	124.25	
004	FORMWORK	m <sup>2</sup>	29.18	1.00	29.18	

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	REMARKS
001	FORMWORK	m <sup>2</sup>	123.00	1.00	123.00	
002	FORMWORK	m <sup>2</sup>	77.61	1.00	77.61	
003	FORMWORK	m <sup>2</sup>	124.25	1.00	124.25	
004	FORMWORK	m <sup>2</sup>	29.18	1.00	29.18	














**TENDER**  
 (SEE ALL REQUIRED SPECIFICATIONS)

New Christchurch Public WC  
 Grandstand Refurbishment  
 50 Glenholme, TAS 7610  
 PROJECT

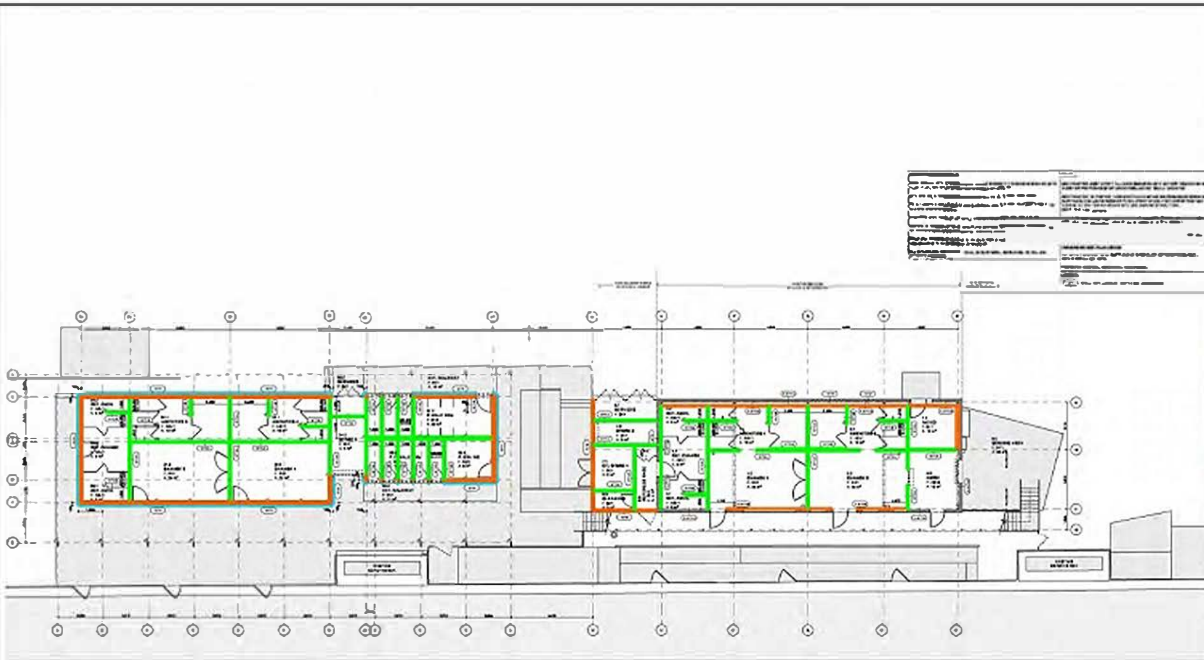




### Legend

T14 - Carpentry\00 - Walls\00 - External Walls\00 - Stage 1		
	T14 - EW 01 - CP - GF - Stud Walls 90x45 MGP10 - 1.0mh	30.97 m2
	T14 - EW 02 - CP - GF - Stud Walls 90x45 MGP10 - 2.1mh	112.05 m2
T14 - Carpentry\00 - Walls\00 - External Walls\00 - Stage 2		
	T14 - EW 01 - GS - GF - Stud Walls 90x45 MGP10 - 1.0mh	4.73 m2
	T14 - EW 02 - GS - GF - Stud Walls 90x45 MGP10 - 2.7mh	19.96 m2
	T14 - EW 03 - GS - GF - Stud Walls 90x45 MGP10 - 3.5mh	74.16 m2
	T14 - EW 04 - GS - GF - Wall Battens - 2.0mh	20.61 m2
T14 - Carpentry\00 - Walls\01 - Internal Walls\00 - Stage 1		
	T14 - IW 02 - CP - GF - Stud Walls 90x45 MGP10 - 1.3mh	2.89 m2
	T14 - IW 03 - CP - GF - Stud Walls 90x45 MGP10 - 2.7mh	144.00 m2
	T14 - IW 07 - CP - GF - Stud Walls 90x45 MGP10 - 3.3mh	93.32 m2
T14 - Carpentry\00 - Walls\01 - Internal Walls\00 - Stage 2		
	T14 - IW 01 - GS - Stud Walls 90x45 MGP10 - 1.0mh	2.07 m2
	T14 - IW 02 - GS - Stud Walls 90x45 MGP10 - 2.7mh	76.50 m2
	T14 - IW 03 - GS - Stud Walls 90x45 MGP10 - 3.5mh	138.44 m2
T14 - Carpentry\04 - Cladding\00 - Stage 1		
	T14 - Cl. 02 - EX - Vapour Barrier	146.01 m2





NO.	DESCRIPTION	UNIT	QUANTITY
1	...	...	...
2	...	...	...
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15	...	...	...
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45	...	...	...
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47	...	...	...
48	...	...	...
49	...	...	...
50	...	...	...

**Legend**

T14 - Carpentry\00 - Walls\00 - External Walls\00 - Stage 1	
T14 - EW 01 - CP - GF - Stud Walls 90x45 MGP10 - 1.0mh	30.97 m2
T14 - EW 02 - CP - GF - Stud Walls 90x45 MGP10 - 2.1mh	112.05 m2
T14 - Carpentry\00 - Walls\00 - External Walls\00 - Stage 2	
T14 - EW 01 - GS - GF - Stud Walls 90x45 MGP10 - 1.0mh	4.73 m2
T14 - EW 02 - GS - GF - Stud Walls 90x45 MGP10 - 2.7mh	19.96 m2
T14 - EW 03 - GS - GF - Stud Walls 90x45 MGP10 - 3.5mh	74.16 m2
T14 - EW 04 - GS - GF - Wall Battens - 2.0mh	20.61 m2
T14 - Carpentry\00 - Walls\01 - Internal Walls\00 - Stage 1	
T14 - IW 02 - CP - GF - Stud Walls 90x45 MGP10 - 1.3mh	2.89 m2
T14 - IW 03 - CP - GF - Stud Walls 90x45 MGP10 - 2.7mh	144.00 m2
T14 - IW 07 - CP - GF - Stud Walls 90x45 MGP10 - 3.3mh	93.32 m2
T14 - Carpentry\00 - Walls\01 - Internal Walls\00 - Stage 2	
T14 - IW 01 - GS - Stud Walls 90x45 MGP10 - 1.0mh	2.07 m2
T14 - IW 02 - GS - Stud Walls 90x45 MGP10 - 2.7mh	76.50 m2
T14 - IW 03 - GS - Stud Walls 90x45 MGP10 - 3.5mh	138.44 m2
T14 - Carpentry\04 - Cladding\00 - Stage 1	
T14 - CL 02 - EX - Vapour Barrier	146.01 m2

FRAMING PLAN

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FRAMING SETOUT PLAN

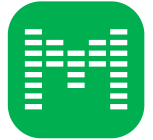
NOV 2018

FOR TENDER

EDM 01

CS-17

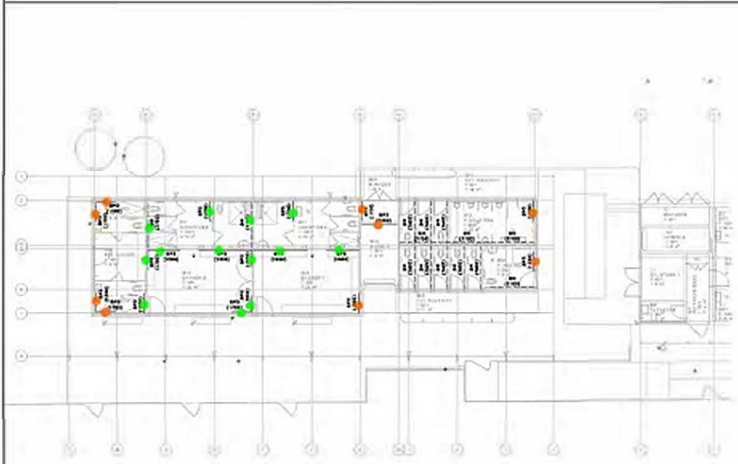
A2.03 T2



MATRIX ESTIMATING

### Legend

- T14 - Carpentry\00 - Walls\00 - External Walls\00 - Stage 1
- T14 - EW 03 - CP - Plywood Bracing 9.00 no
- T14 - Carpentry\00 - Walls\01 - Internal Walls\00 - Stage 1
- T14 - IW 08 - CP - GF - Plywood Bracing 13.00 no



BRACING UNIT QUANTITIES	
CLASS	QUANTITY
BRK	PLYWOOD BRACING 100 X 100 X 18 PLYWOOD 27100.00
BRK	PLYWOOD BRACING 100 X 100 X 18 PLYWOOD 27100.00
BRK	PLYWOOD BRACING 100 X 100 X 18 PLYWOOD 27100.00

BRACING QUANTITIES BY BRACING TYPE			
CLASS	QUANTITY	BRACING TYPE	TOTAL QUANTITY
BRK	9.00	EW 03	9.00
BRK	13.00	IW 08	13.00
BRK	22.00		22.00
TOTAL QUANTITY (SUM)			22.00

BRACING QUANTITIES BY BRACING TYPE			
CLASS	QUANTITY	BRACING TYPE	TOTAL QUANTITY
BRK	9.00	EW 03	9.00
BRK	13.00	IW 08	13.00
BRK	22.00		22.00
TOTAL QUANTITY (SUM)			22.00

## TENDER

INC. ALL RELEVANT APPROVALS / PERMITS

NO.	216112-S10 T2 12	DATE	10/10/2023
BY	ALAN	APPROVED	ALAN
<p>CDV Park New Change room @ 500m WC                  Paving and Retaining Earthwork                  18 Gray St, Glenview, NSW 2153</p> <p>4 WALL BRACING PLAN</p>			
PROJECT NO.	216112-S10 T2 12	DATE	10/10/2023
CLIENT	CDV	DESIGNER	ALAN
CONTRACT NO.	216112-S10 T2 12	SCALE	1:100
DATE	10/10/2023	BY	ALAN

WALL BRACING PLAN  
 10/10/2023



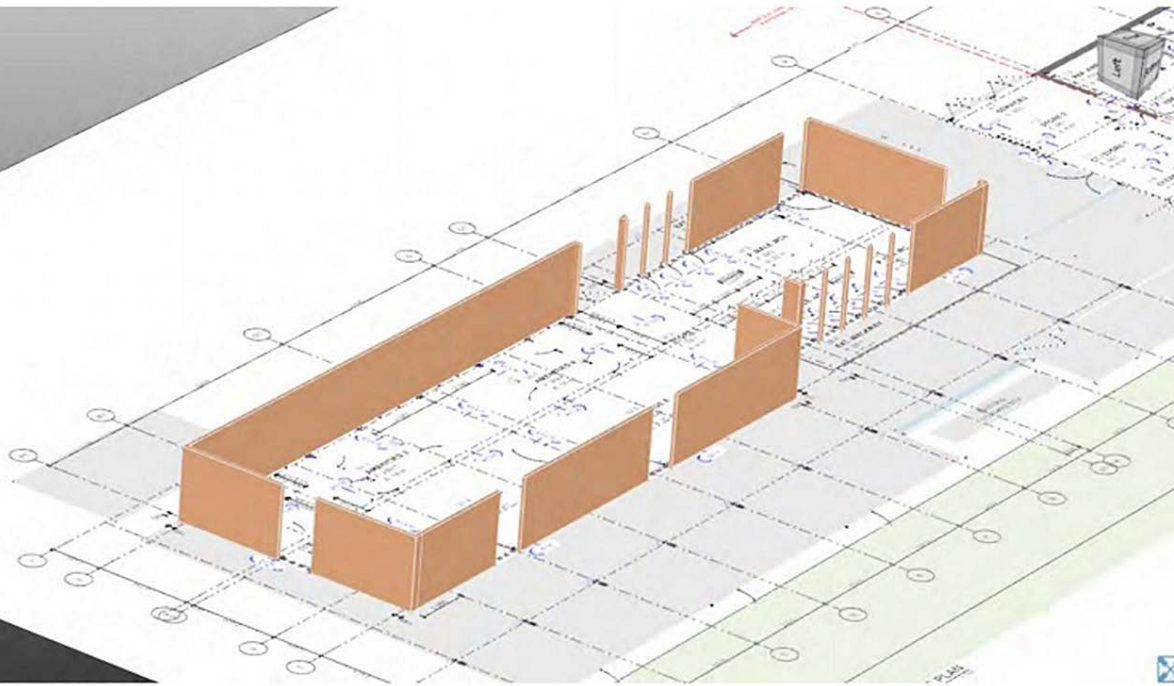
MATRIX ESTIMATING

### Legend

T07 - Masonry\00 - Stage 1

T07 - GF - MSN 02 - CP - WT4 - External Masonry Veneer

117.36 m2



MATRIX ESTIMATING



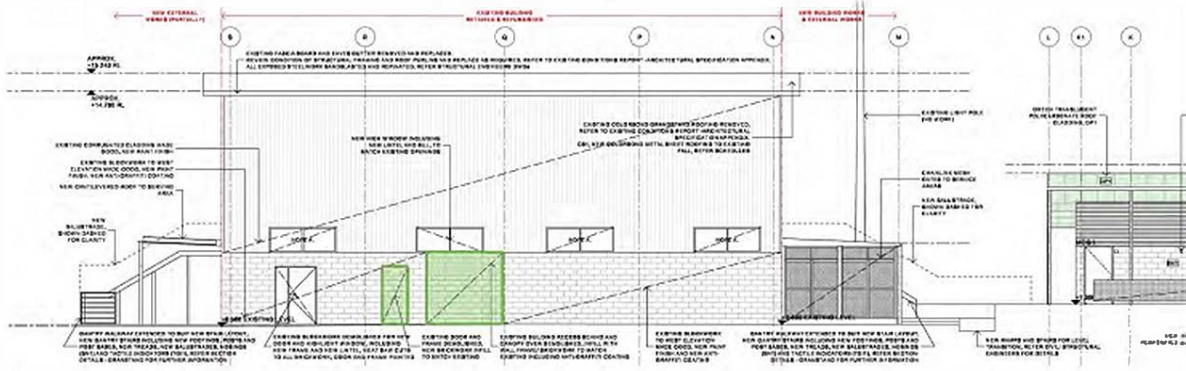


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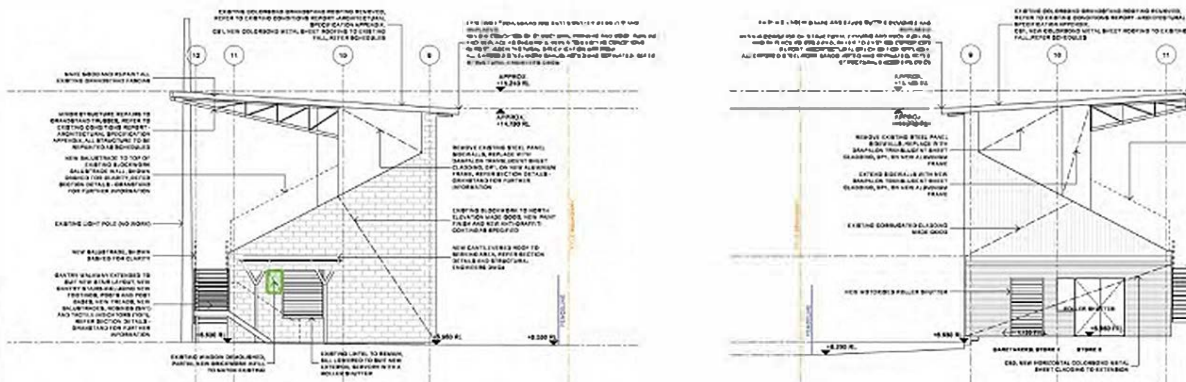
T07 - Masonry/00 - Stage 2

  T07 - GF - MSN 02 - GS - WT4 - External Masonry Veneer 9.44 m2 Infill

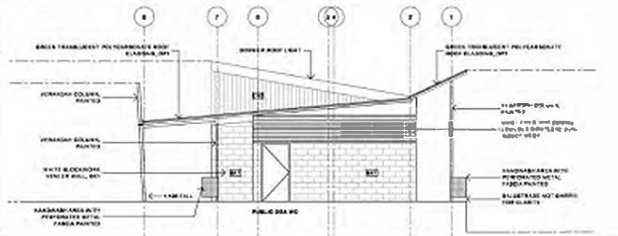
**EAST ELEVATION - NEW CHANGEROOM/PUBLIC WC BUILDING & EXISTING GRANDSTAND**



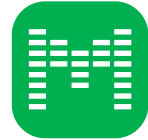
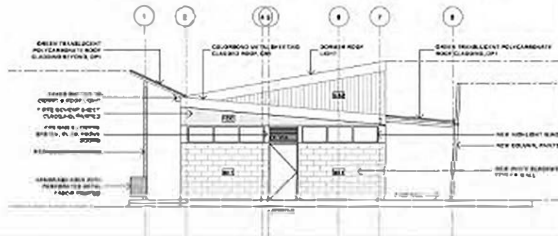
**WEST ELEVATION - EXISTING GRANDSTAND & NEW CHANGEROOM/PUBLIC WC BUILDING**



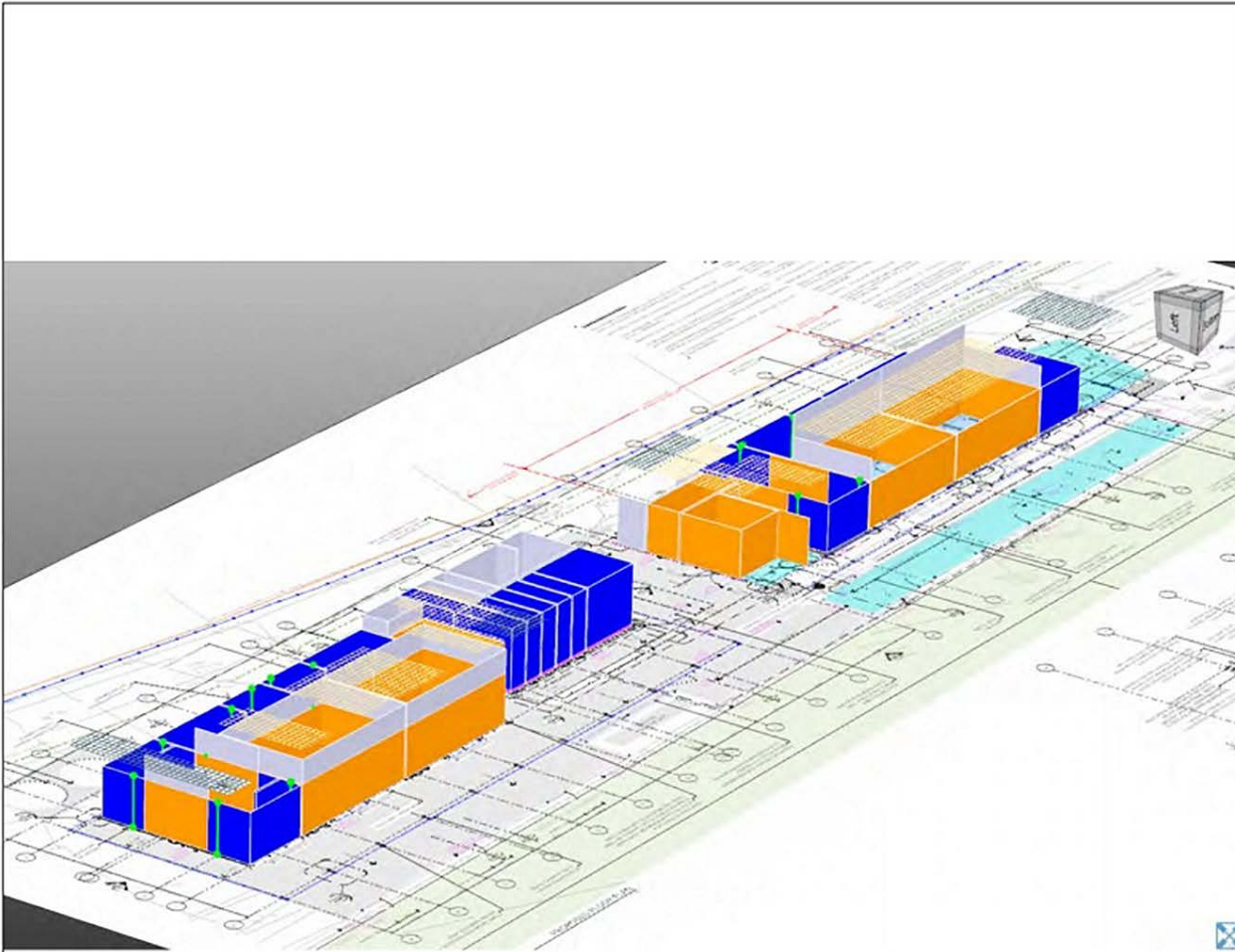
**NORTH ELEVATION - EXISTING GRANDSTAND**



**SOUTH ELEVATION - EXISTING GRANDSTAND**



**MATRIX ESTIMATING**



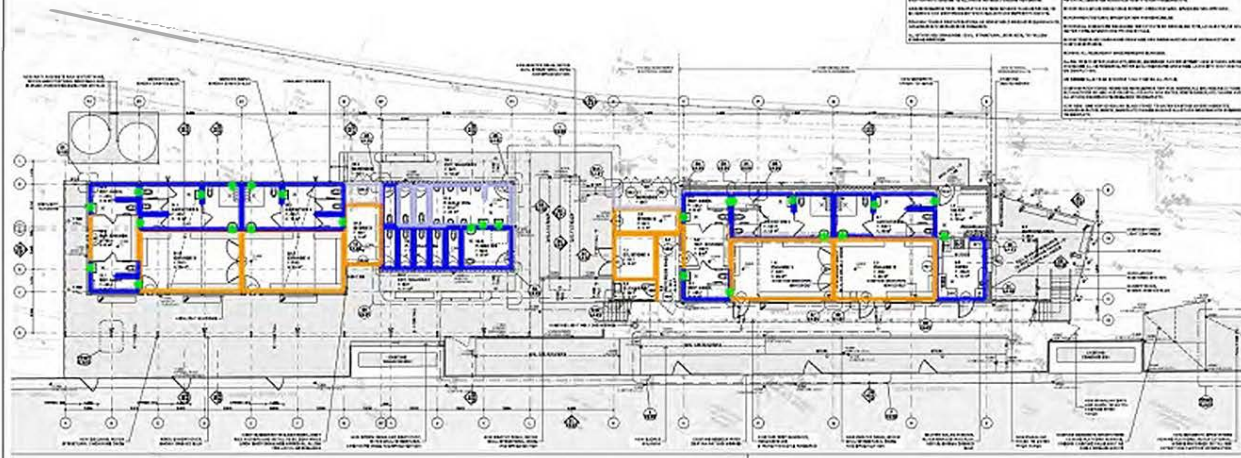
### Legend

T18 - Floor and wall finishes\Stage 1\Ceilings	
ST1 - Plywood Ceilings	42.90 m2
ST1 - SF1 & FC1 - 9mm FC Sheet	15.63 m2
T18 - Floor and wall finishes\Stage 1\Flooring	
ASV1 - VINYL Flooring	58.10 m2
RR1 - Regupol Sheet Rubber	50.86 m2
SE1 - Concrete Sealer	11.91 m2
ST1 - FT1 - Floor tiles	44.52 m2
ST1 - FT3 - Skirting Tiles	89.12 m
T18 - Floor and wall finishes\Stage 1\Walls	
ST1 - CT1 - Wall tiles	388.06 m2
ST1 - FC1 - 9mm FC Sheet - P1 - 2500mmH Above	310.06 m2
ST1 - PLY1 - Plywood - CF1 Clear Coat - 2500mmH	131.84 m2
T18 - Floor and wall finishes\Stage 2\Ceilings	
ST2 - Plywood Ceilings	68.42 m2
ST2 - SF1 & FC1 - 9mm FC Sheet	16.79 m2
T18 - Floor and wall finishes\Stage 2\Flooring	
ASV1 & ASV2 - S2 - VINYL Flooring	86.03 m2
RR1 - S2 - Regupol Sheet Rubber	49.87 m2
SE1 - S2 - Concrete Sealer	129.38 m2
T18 - Floor and wall finishes\Stage 2\Walls	
ST2 - CT1 & CT2 - Wall tiles	150.22 m2
ST2 - CT2 Tile Feature - Mixed	26.00 no
ST2 - FC1 - 9mm FC Sheet - P1	47.87 m2
ST2 - PLY1 - Plywood - CF1 Clear Coat - 2500mmH	157.63 m2



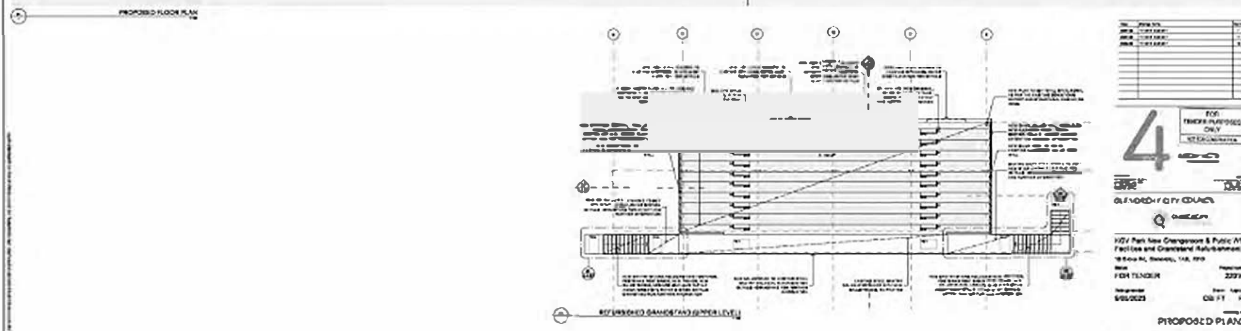
### Legend

T18 - Floor and wall finishes(Stage 1)\Walls	
■ ST1 - CT1 - Wall tiles	388.06 m2
■ ST1 - FC1 - 9mm FC Sheet - P1 - 2500mmH Above	310.06 m2
■ ST1 - PLY1 - Plywood - CF1 Clear Coat - 2500mmH	131.84 m2
T18 - Floor and wall finishes(Stage 2)\Walls	
■ ST2 - CT1 & CT2 - Wall tiles	150.22 m2
● ST2 - CT2 Tile Feature - Mixed	26.00 no
■ ST2 - FC1 - 9mm FC Sheet - P1	47.87 m2
■ ST2 - PLY1 - Plywood - CF1 Clear Coat - 2500mmH	157.63 m2



**GENERAL NOTES**

1. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE relevant building codes.
2. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE relevant building codes.
3. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE relevant building codes.
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9. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE relevant building codes.
10. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE relevant building codes.



NO.	REVISION	DATE
1	ISSUED FOR TENDER	15/08/2024
2	ISSUED FOR TENDER	15/08/2024
3	ISSUED FOR TENDER	15/08/2024
4	ISSUED FOR TENDER	15/08/2024
5	ISSUED FOR TENDER	15/08/2024
6	ISSUED FOR TENDER	15/08/2024
7	ISSUED FOR TENDER	15/08/2024
8	ISSUED FOR TENDER	15/08/2024
9	ISSUED FOR TENDER	15/08/2024
10	ISSUED FOR TENDER	15/08/2024

**4**

FOR TENDER PURPOSES ONLY

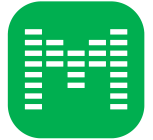
DATE: 15/08/2024

SCALE: AS SHOWN

10/1 Park Lane, Creighton & Public AG  
 Facilities and Groundwork Subcontractors  
 10/1 Park Lane, Creighton, NSW, 1585  
 Phone: 02 9390 1000  
 Fax: 02 9390 1001  
 Email: info@101parklane.com.au

PROPOSED PLANS

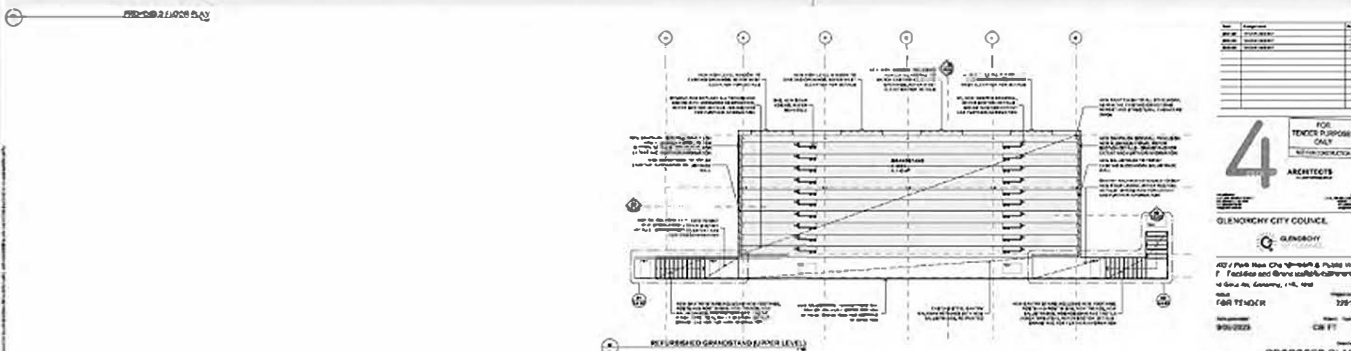
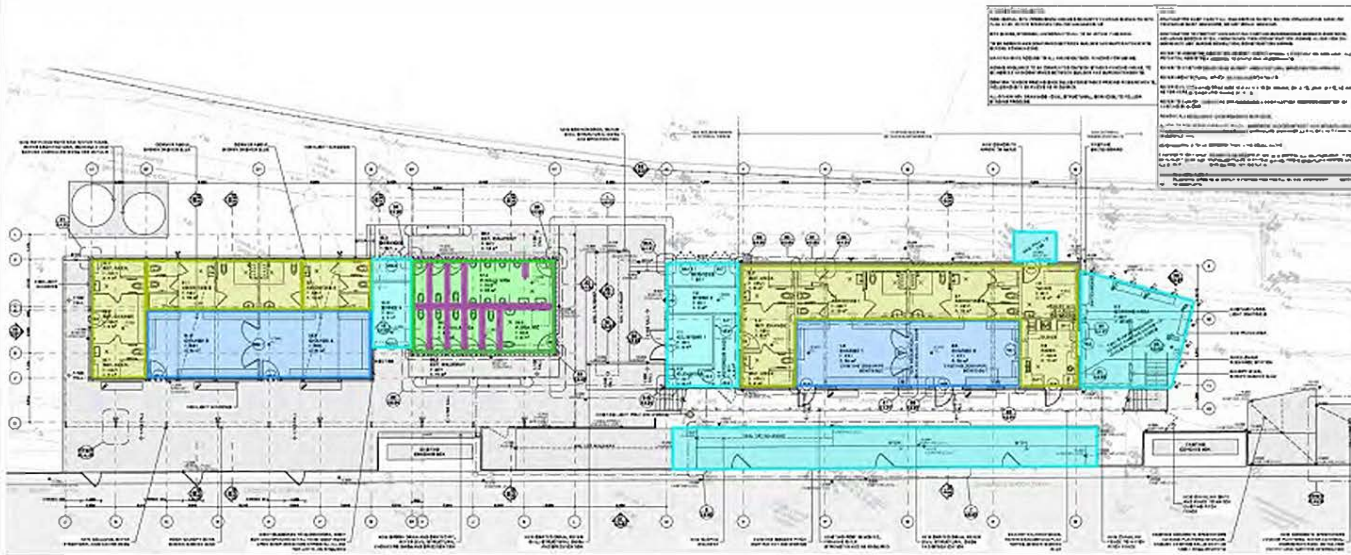
**A2.01 T2**



**MATRIX ESTIMATING**

### Legend

T18 - Floor and wall finishes\Stage 1\Flooring		
ASV1 - VINYL Flooring	58.10 m2	
RR1 - Regupol Sheet Rubber	50.86 m2	
SE1 - Concrete Sealer	11.91 m2	
ST1 - FT1 - Floor tiles	44.52 m2	
ST1 - FT3 - Skirting Tiles	89.12 m	
T18 - Floor and wall finishes\Stage 2\Flooring		
ASV1 & ASV2 - S2 - VINYL Flooring	86.03 m2	
RR1 - S2 - Regupol Sheet Rubber	49.87 m2	
SE1 - S2 - Concrete Sealer	129.38 m2	



FOR TENDER PURPOSES ONLY

**4**

ARCHITECTS

GLENOWICH CITY COUNCIL

GLENOWICH

102 / Park Road Cheungwah & Plaza W/C  
 Facilities and Design Department  
 40 Glenowich, 116, 199  
 1999

FOR TENDER

3/2/2011

Scale: 1:100

DATE: 03/02/2011

PROPOSED PLANS

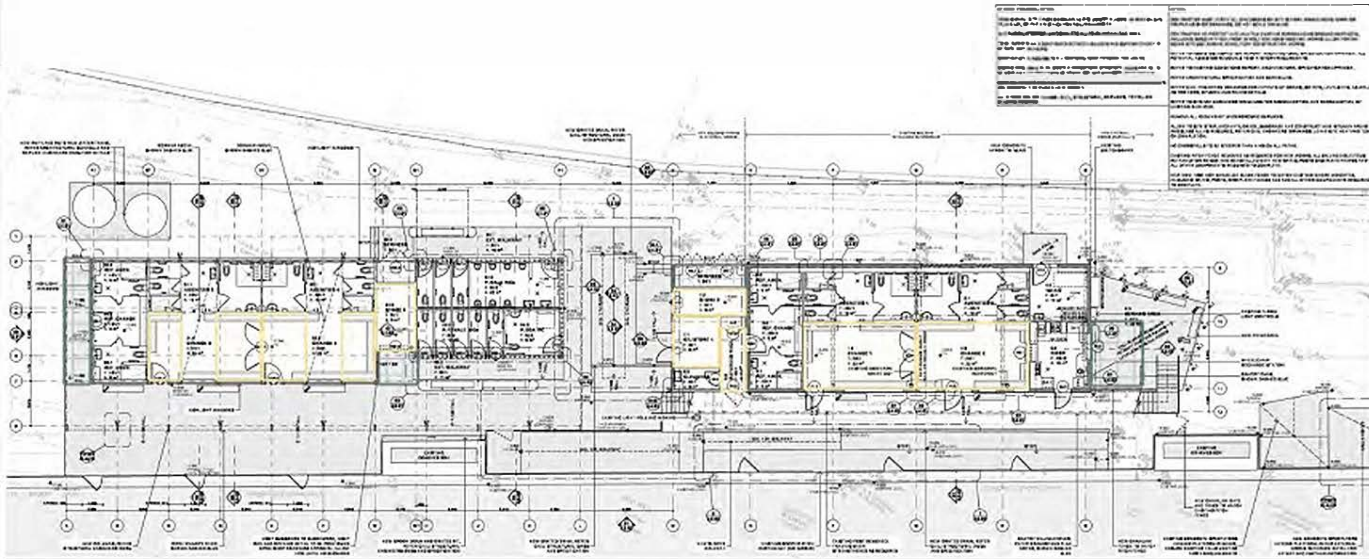
A2.01 T2



MATRIX ESTIMATING

### Legend

T18 - Floor and wall finishes(Stage 1)\Ceilings	
ST1 - Plywood Ceilings	42.90 m2
ST1 - SF1 & FC1 - 9mm FC Sheet	15.63 m2
T18 - Floor and wall finishes(Stage 2)\Ceilings	
ST2 - Plywood Ceilings	68.42 m2
ST2 - SF1 & FC1 - 9mm FC Sheet	16.79 m2



**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS AND ALL APPLICABLE STANDARDS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE RELEVANT AUTHORITIES.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AND UTILITIES AT ALL TIMES.

5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SERVICES AND UTILITIES.

7. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND THE RELEVANT AUTHORITIES.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

9. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE RELEVANT AUTHORITIES.

10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AND UTILITIES AT ALL TIMES.

11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SERVICES AND UTILITIES.

13. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND THE RELEVANT AUTHORITIES.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

15. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE RELEVANT AUTHORITIES.

16. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AND UTILITIES AT ALL TIMES.

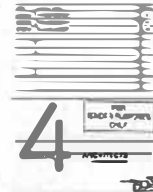
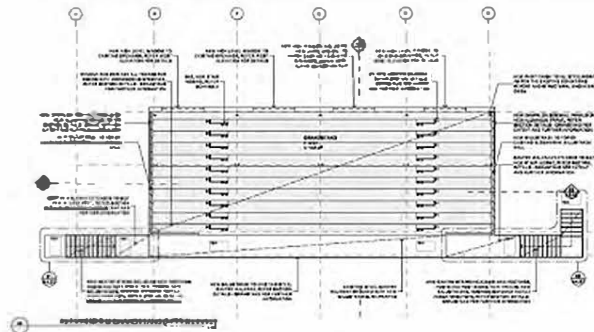
17. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SERVICES AND UTILITIES.

19. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND THE RELEVANT AUTHORITIES.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

PROPOSED FLOOR PLAN



**4**

SECTION 1 - PUMPERS ONLY

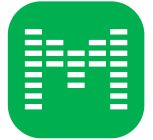
GLoucester CITY COUNCIL

GLoucester

401 Oldport Way, Gloucester & Public WC  
 Gloucester and Districts 10 01452 440000  
 10 East 1st Street, 1st, 2nd  
 Gloucester, G1 1 2H  
 01452 440000  
 01452 440000  
 01452 440000

PROPOSED PLANS

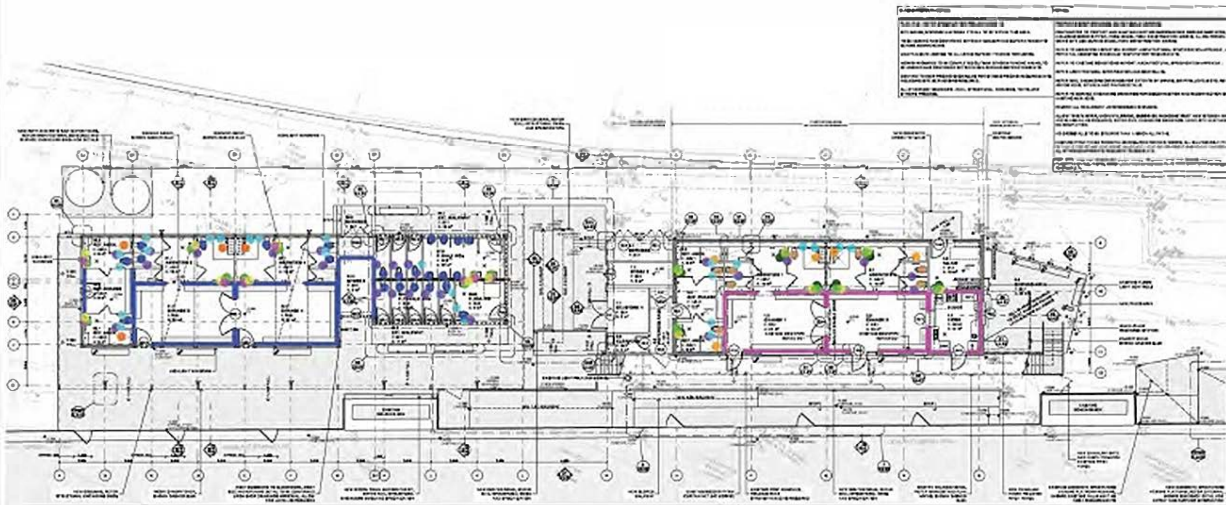
**A2.01 T2**



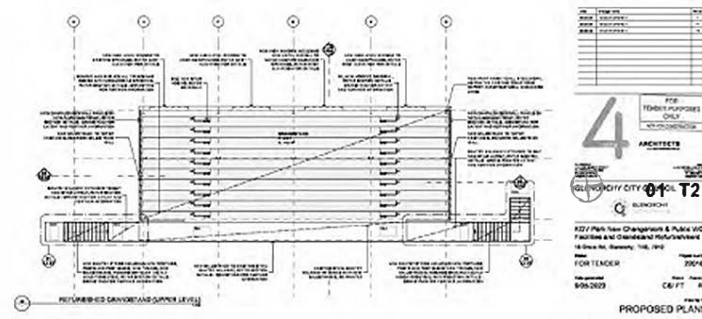
**MATRIX ESTIMATING**

### Legend

T14 - Carpentry\03 - Finishing Carpentry\00 - Skirting\00 - Stage 1	
T14 - FC 02 - CP - SK2 - Type 2	50.38 m
T14 - Carpentry\03 - Finishing Carpentry\00 - Skirting\00 - Stage 2	
T14 - FC 02 - GS - SK2 - Type 2	45.46 m
T14 - Carpentry\05 - Fixture, Fittings & Equipment\00 - Stage 1	
ST1 - Basin	9.00 no
ST1 - Grab Rails	15.00 no
ST1 - Mirrors	9.00 no
ST1 - Shower	4.00 no
ST1 - Soap Dispenser	9.00 no
ST1 - Toilets	24.00 no
ST1 - Toilet Roll Holders	17.00 no
ST1 - Towel Rail	3.00 no
T14 - Carpentry\05 - Fixture, Fittings & Equipment\00 - Stage 2	
ST2 - Basin	7.00 no
ST2 - Grab Rails	6.00 no
ST2 - Mirrors	7.00 no
ST2 - Shower	5.00 no
ST2 - Soap Dispenser	7.00 no
ST2 - Toilets	8.00 no
ST2 - Toilet Roll Holders	7.00 no
ST2 - Towel Rail	4.00 no



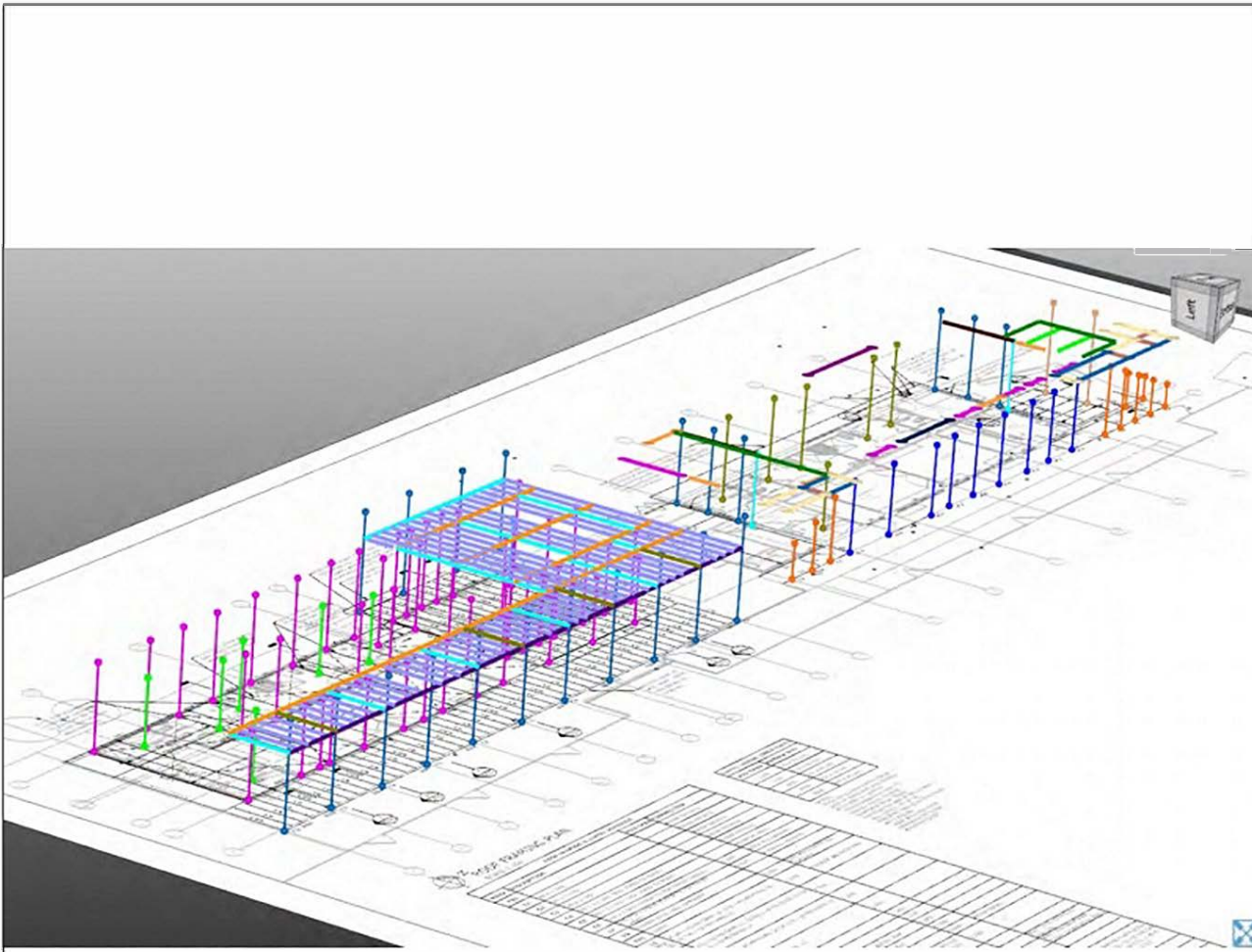
PROPOSED 3 FLOOR PLAN



4  
 FOR TENDER PURPOSES ONLY  
 ARCHITECTS  
 BLENKHOVI  
 2027 Park Lane, Changanassery & Public Works  
 Facilities & Infrastructure  
 18/2000, Marikay, 106, 1010  
 FOR TENDER  
 955/2023  
 PROPOSED PLANS  
**A2.**



MATRIX ESTIMATING



### Legend

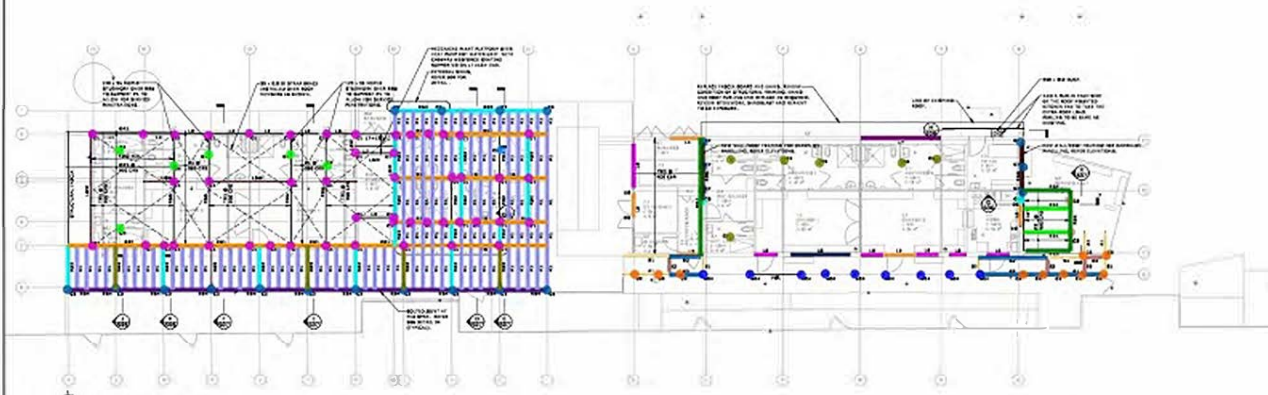
T09 - Structural Steel/00 - Stage 1		
●	T09 - SS 01 - CP - C1 - 89x5 RHS	148.90 m
●	T09 - SS 02 - CP - C2 - 89x5 CHS	63.70 m
●	T09 - SS 03 - CP - C4 - 89x3.5 SHS	16.20 m
●	T09 - SS 04 - CP - C5 - 89x3.5 SHS	2.70 m
■	T09 - SS 05 - CP - RB1 - 150x100x5 RHS	58.33 m
■	T09 - SS 06 - CP - RB2 - 150x100x6 RHS	44.19 m
■	T09 - SS 07 - CP - RB3 - 150x100x6 RHS	11.04 m
■	T09 - SS 08 - CP - RB4 - 200 x 13 EA	29.90 m
■	T09 - SS 09 - CP - R1 - Freespan DPAB60	232.38 m
T09 - Structural Steel/00 - Stage 2		
●	T09 - SS 02 - GS - C2 - 89x5 CHS	18.70 m
●	T09 - SS 03 - GS - C3 - 89x5 CHS	8.00 m
●	T09 - SS 03 - GS - C4 - 89x3.5 CHS	27.00 m
●	T09 - SS 04 - GS - C5 - 89x3.5 SHS	20.20 m
●	T09 - SS 05 - GS - C6 - 100x5 SHS	6.00 m
●	T09 - SS 06 - GS - C7 - 100x50x4	21.00 m
■	T09 - SS 07 - GS - RB1 - 150x100x5 RHS	58.0 m
■	T09 - SS 08 - GS - RB4 - 200x13 EA	16.79 m
■	T09 - SS 09 - GS - RB6 - 100x6 SHS	7.09 m
■	T09 - SS 10 - GS - L5 - 150x90x8 UA	8.70 m
■	T09 - SS 11 - GS - L6 - 100x8 EA	9.28 m
■	T09 - SS 12 - GS - L7 - 180 PFC	4.97 m
■	T09 - SS 13 - GS - L8 - 180 PFC + 100x8 EA	3.73 m
■	T09 - SS 14 - GS - S1 - 250 PFC	18.73 m
■	T09 - SS 15 - GS - S2 - 150 PFC Walkway	2.146 m
■	T09 - SS 16 - GS - S3 - 150 PFC Landing Trimmer	5.89 m





### Legend

T09 - Structural Steel(U00 - Stage 1		
T09 - SS 01 - CP - C1 - 89x5 RHS	148.90 m	
T09 - SS 02 - CP - C2 - 89x5 CHS	63.70 m	
T09 - SS 03 - CP - C4 - 89x3.5 SHS	16.20 m	
T09 - SS 04 - CP - C5 - 89x3.5 SHS	2.70 m	
T09 - SS 05 - CP - RB1 - 150x100x5 RHS	58.33 m	
T09 - SS 06 - CP - RB2 - 150x100x6 RHS	44.19 m	
T09 - SS 07 - CP - RB3 - 150x100x6 RHS	11.04 m	
T09 - SS 08 - CP - RB4 - 200 x 13 EA	29.90 m	
T09 - SS 09 - CP - R1 - Freespan DPAB60	232.38 m	
T09 - Structural Steel(U00 - Stage 2		
T09 - SS 02 - GS - C2 - 89x5 CHS	18.70 m	
T09 - SS 03 - GS - C3 - 89x5 CHS	8.00 m	
T09 - SS 03 - GS - C4 - 89x3.5 CHS	27.00 m	
T09 - SS 04 - GS - C5 - 89x3.5 SHS	20.20 m	
T09 - SS 05 - GS - C6 - 100x5 SHS	6.00 m	
T09 - SS 06 - GS - C7 - 100x50x4	21.00 m	
T09 - SS 07 - GS - RB1 - 150x100x5 RHS	5.80 m	
T09 - SS 08 - GS - RB4 - 200x13 EA	16.79 m	
T09 - SS 09 - GS - RB6 - 10 0x6 SHS	7.09 m	
T09 - SS 10 - GS - L5 - 150x90x8 UA	8.70 m	
T09 - SS 11 - GS - L6 - 100x8 EA	9.28 m	
T09 - SS 12 - GS - L7 - 18 0 PFC	4.97 m	
T09 - SS 13 - GS - L8 - 180 PFC + 100x8 EA	3.73 m	
T09 - SS 14 - GS - S1 - 250 PFC	18.73 m	
T09 - SS 15 - GS - S2 - 150 PFC Walkway	21.46 m	
T09 - SS 16 - GS - S3 - 150 PFC Landing Trimmer	5.89 m	



ROOF FRAMING PLAN  
SCALE: 1:100

MEMBER QUANTITIES & WEIGHT SUMMARY	
ITEM	QUANTITY
CP C1	148.90 m
CP C2	63.70 m
CP C4	16.20 m
CP C5	2.70 m
CP RB1	58.33 m
CP RB2	44.19 m
CP RB3	11.04 m
CP RB4	29.90 m
CP R1	232.38 m
GS C2	18.70 m
GS C3	8.00 m
GS C4	27.00 m
GS C5	20.20 m
GS C6	6.00 m
GS C7	21.00 m
GS RB1	5.80 m
GS RB4	16.79 m
GS RB6	7.09 m
GS L5	8.70 m
GS L6	9.28 m
GS L7	4.97 m
GS L8	3.73 m
GS S1	18.73 m
GS S2	21.46 m
GS S3	5.89 m

TOTAL WEIGHTS (KGS)	
MEMBER WEIGHT	120000
PLATE WEIGHT	15000
TOTAL WEIGHT	135000

NOTE:  
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
2. ALL DIMENSIONS ARE TO BE CHECKED ON SITE.  
3. ALL DIMENSIONS ARE TO BE CHECKED ON SITE.  
4. ALL DIMENSIONS ARE TO BE CHECKED ON SITE.  
5. ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

TENDER  
NO. 11/2023/0000-01/0000

4

EGV Para New Changeroom & Public WC Facilities and Grandstand Refurbishment  
16 Cross Street, Singapore, S15 1810

ROOF FRAMING PLAN

Scale: 1:100

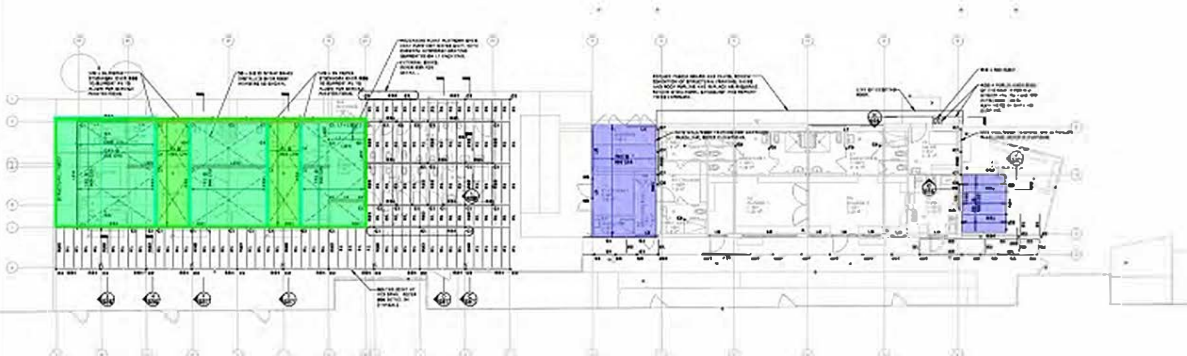
216112-S03 T2 12



MATRIX ESTIMATING

### Legend

- T14 - Capentry\02 - Roofing\00 - Rafters\00 - Stage 1
- T14 - RO 01 - RA - CP - OR1 - 63x130 LVL @900 Cts 201.77 m
- T14 - RO 01 - ST - CP - RB5 - 360x65 GL18C 27.82 m
- T14 - RO 02 - RA - CP - P1 - 120x45 MGP10 @900 Cts 79.80 m
- T14 - RO 02 - ST - CP - L1 - 2/190x45 LVL (Upper Roof) 6.69 m
- T14 - RO 03 - ST - CP - L1 - 150x63 LVL (Lower window sill) 3.35 m
- T14 - RO 04 - ST - CP - L2 - 2/140x45 LVL (Upper Roof) 31.22 m
- T14 - RO 05 - ST - CP - L2 - 150x63 LVL 13 (lower window sill) 17.99 m
- T14 - RO 06 - Area of roof 144.91 m2
- T14 - Capentry\02 - Roofing\00 - Rafters\00 - Stage 2
- T14 - RO 01 - RA - GS - OR1 - 63x130 LVL @900 Cts 60.47 m
- T14 - RO 02 - P2 - C10010 @ 900 Cts 25.70 m



ROOF FRAMING PLAN

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
001	RAFTERS 63x130 LVL @900 Cts	m	201.77	12.00	2421.24
002	STAYS 360x65 GL18C	m	27.82	1.00	27.82
003	RAFTERS 120x45 MGP10 @900 Cts	m	79.80	1.00	79.80
004	STAYS 2/190x45 LVL (Upper Roof)	m	6.69	1.00	6.69
005	STAYS 150x63 LVL (Lower window sill)	m	3.35	1.00	3.35
006	STAYS 2/140x45 LVL (Upper Roof)	m	31.22	1.00	31.22
007	STAYS 150x63 LVL 13 (lower window sill)	m	17.99	1.00	17.99
008	Area of roof	m2	144.91	1.00	144.91
009	RAFTERS 63x130 LVL @900 Cts	m	60.47	1.00	60.47
010	RAFTERS C10010 @ 900 Cts	m	25.70	1.00	25.70

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
011	RAFTERS 63x130 LVL @900 Cts	m	201.77	12.00	2421.24
012	STAYS 360x65 GL18C	m	27.82	1.00	27.82
013	RAFTERS 120x45 MGP10 @900 Cts	m	79.80	1.00	79.80
014	STAYS 2/190x45 LVL (Upper Roof)	m	6.69	1.00	6.69
015	STAYS 150x63 LVL (Lower window sill)	m	3.35	1.00	3.35
016	STAYS 2/140x45 LVL (Upper Roof)	m	31.22	1.00	31.22
017	STAYS 150x63 LVL 13 (lower window sill)	m	17.99	1.00	17.99
018	Area of roof	m2	144.91	1.00	144.91
019	RAFTERS 63x130 LVL @900 Cts	m	60.47	1.00	60.47
020	RAFTERS C10010 @ 900 Cts	m	25.70	1.00	25.70

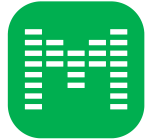
NOTES:  
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.  
 2. ALL MATERIALS TO BE SUPPLIED BY THE CONTRACTOR.  
 3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL APPLICABLE STANDARDS.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AT ALL TIMES.  
 6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND STRUCTURES.  
 8. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AUTHORITY.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.  
 10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.

## TENDER

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
001	RAFTERS 63x130 LVL @900 Cts	m	201.77	12.00	2421.24
002	STAYS 360x65 GL18C	m	27.82	1.00	27.82
003	RAFTERS 120x45 MGP10 @900 Cts	m	79.80	1.00	79.80
004	STAYS 2/190x45 LVL (Upper Roof)	m	6.69	1.00	6.69
005	STAYS 150x63 LVL (Lower window sill)	m	3.35	1.00	3.35
006	STAYS 2/140x45 LVL (Upper Roof)	m	31.22	1.00	31.22
007	STAYS 150x63 LVL 13 (lower window sill)	m	17.99	1.00	17.99
008	Area of roof	m2	144.91	1.00	144.91
009	RAFTERS 63x130 LVL @900 Cts	m	60.47	1.00	60.47
010	RAFTERS C10010 @ 900 Cts	m	25.70	1.00	25.70

4

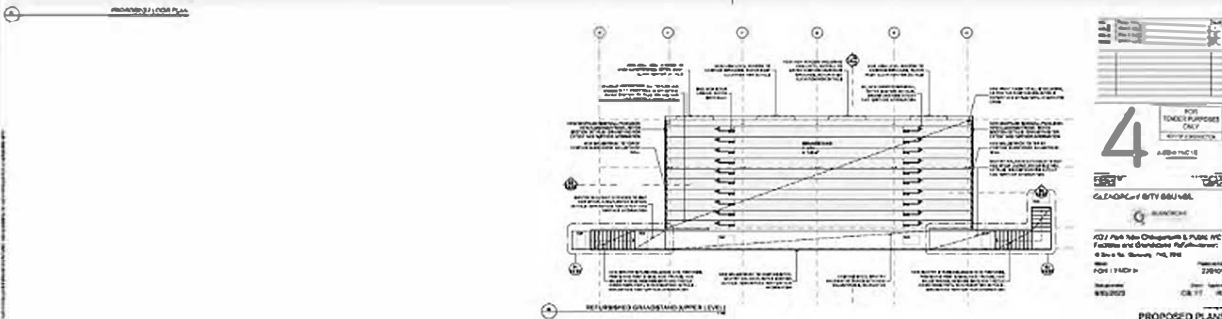
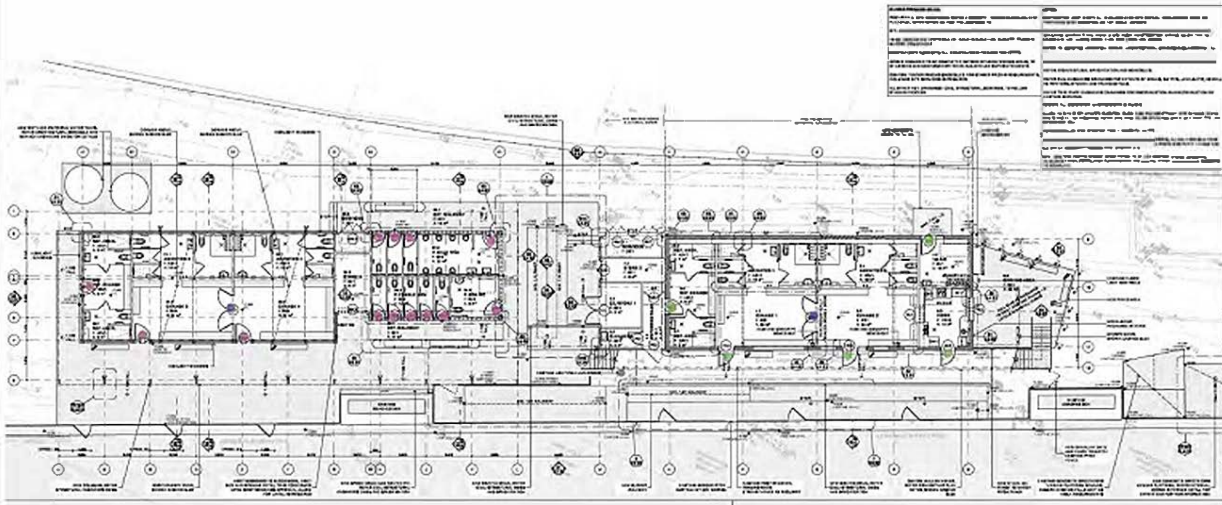
216112-S03 T2 12



MATRIX ESTIMATING

### Legend

- T17 - Doors\00 - Stage 1
- T17 - DR 01 - CP - External Doors - Fire Rated 13.00 no
- T17 - DR 04 - CP - Internal Double Doors - Passage lock 1.00 no
- T17 - Doors\00 - Stage 2
- T17 - DR 01 - GS - External Doors - Fire Rated 5.00 no
- T17 - DR 04 - GS - Internal Double Doors - Passage lock 1.00 no



4  
 FOR TENDER PURPOSES ONLY  
 ABBOTT  
 CLADAC / BTY B&W  
 BLUNTRICH  
 10/1 Park Side, Chesham & Public WC  
 Facilities and Operations Ref: 10/1-10/1  
 10/1 Park Side, Chesham, WY6 1AA  
 PDF | 14/04/2024  
 Date: 14/04/2024  
 08:27:43  
 PROPOSED PLANS

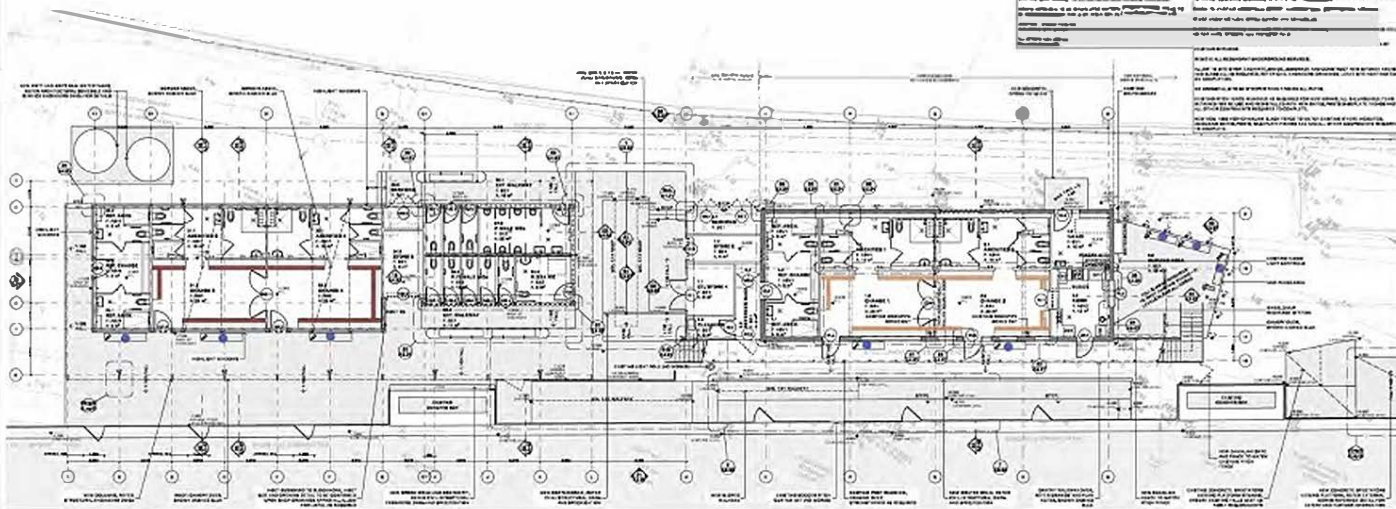
A2.01 T2



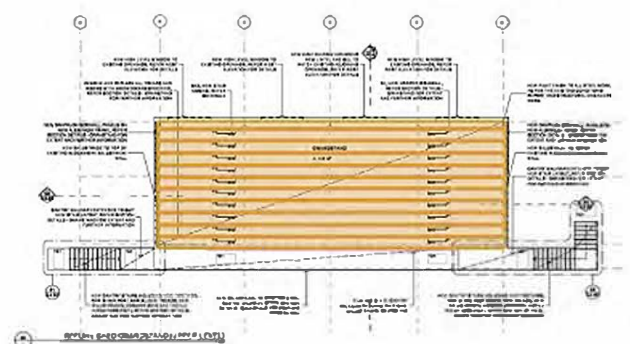
MATRIX ESTIMATING

# Legend

T20 - Misc Items		
● BS3 - External Bench Seats	8.00 m	
■ Internal Bench Seats	24.67 m	
■ Internal Bench Seats - Stage 2	23.18 m	
■ Modwood 137x23	1,043.42 m	
■ Modwood 88x23	424.10 m	



PROPOSED FLOOR PLAN



4  
 FCP  
 TENDER PURPOSES  
 ONLY  
 ARCHITECTS  
 GLENBORO A2:01  
 T2  
 FOR TENDER  
 0452923  
 PROPOSED PLANS



MATRIX ESTIMATING

# Legend

- T20 - Misc Items
- ST1 & ST2 - Fixed Ladders 5.00 no
- T20 - 01 - Roof Safety - RA1 15.00 no

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL BUILDING CODE OF AUSTRALIA.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL REGULATIONS AND THE NATIONAL ELECTRICAL CODE OF AUSTRALIA.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING REGULATIONS AND THE NATIONAL PLUMBING CODE OF AUSTRALIA.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL REGULATIONS AND THE NATIONAL MECHANICAL CODE OF AUSTRALIA.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE REGULATIONS AND THE NATIONAL FIRE CODE OF AUSTRALIA.

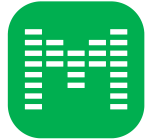
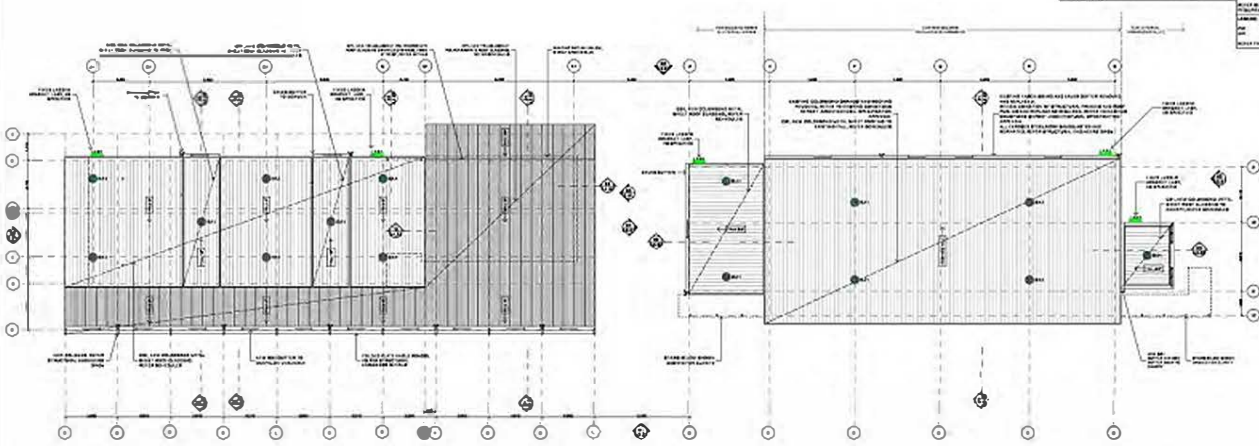
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL SAFETY REGULATIONS AND THE NATIONAL SAFETY CODE OF AUSTRALIA.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ENVIRONMENTAL REGULATIONS AND THE NATIONAL ENVIRONMENTAL CODE OF AUSTRALIA.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL HEALTH REGULATIONS AND THE NATIONAL HEALTH CODE OF AUSTRALIA.

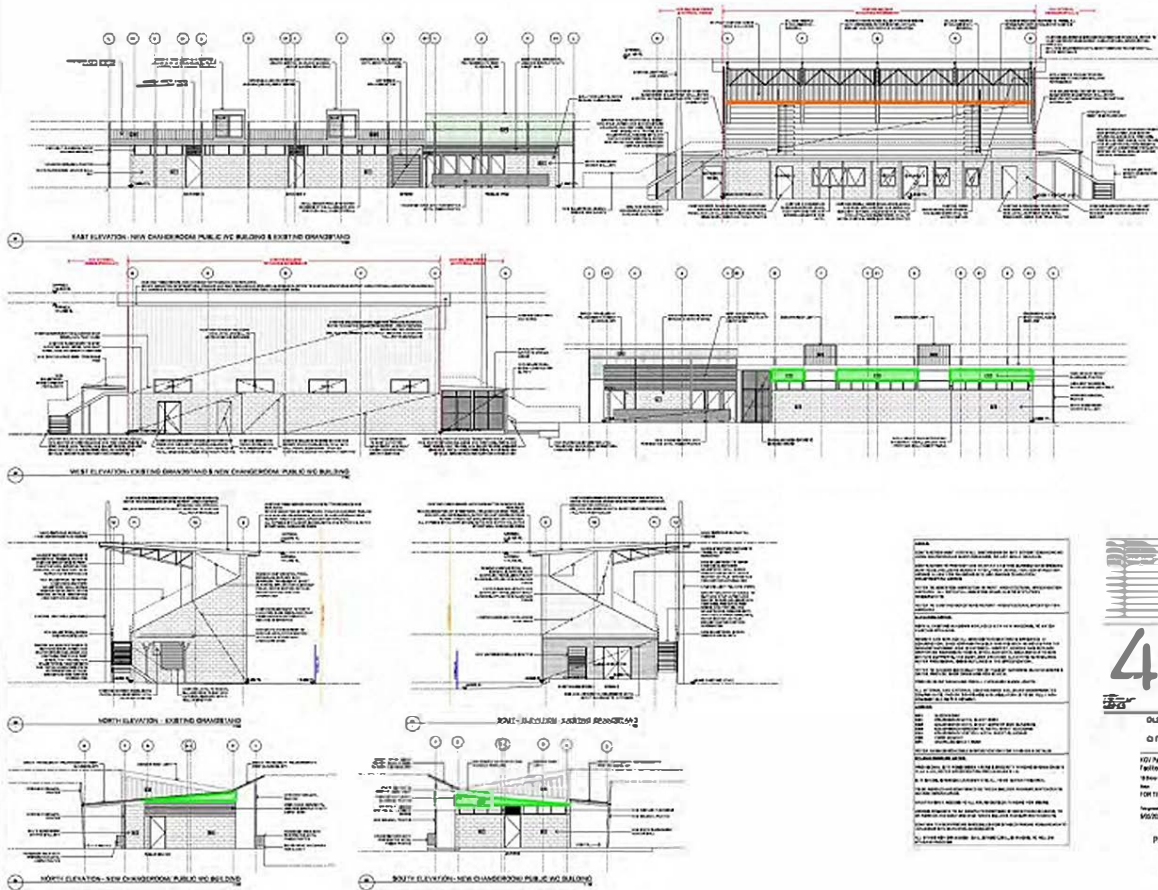
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL EDUCATION REGULATIONS AND THE NATIONAL EDUCATION CODE OF AUSTRALIA.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL RESEARCH REGULATIONS AND THE NATIONAL RESEARCH CODE OF AUSTRALIA.



### Legend

- T14 - Carpentry\03 - Finishing Carpentry\00 - Skirting\00 - Stage 2 19.72 m
- T14 - FC 03 - GS - 190x20 Skirting 19.72 m
- T14 - Carpentry\04 - Cladding\00 - Stage 1
- T14 - CL 03 - FCC - Fibre Cement Sheet Cladding 12.80 m2



**NOTES**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
2. ALL MATERIALS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.
3. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL REGULATIONS.
7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL PLUMBING REGULATIONS.
8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL MECHANICAL REGULATIONS.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL FIRE REGULATIONS.
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL SAFETY REGULATIONS.



**PROPOSED ELEVATIONS**

DATE: 15/03/23

BY: [Signature]

FOR: [Signature]

A3.01 T2



MATRIX ESTIMATING

