





MATRIX ESTIMATING

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MATRIX ESTIMATING

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Cormac Gray: 0415 798 401

9 August 2023

Williams Residence,
123 Elm Street

Quotation No: 23000-0A

Project: 123 Elm Street

Dear Rob & Kim,

It is with pleasure that we forward our budget quotation for the works at 123 Elm Street, as requested. This quotation is based on accompanying marked-up document.

Our budget quotation is as follows:

T02	<u>Preliminaries</u>		\$ 20,000.00
	1.00 no	Plant and scaffolding	\$ 12,000.00
	6.00 no	Waste management	\$ 3,000.00
	1.00 no	Sundries and consumables	\$ 5,000.00
T03	<u>Demolition</u>		\$ 18,000.00
	18.57 m2	T03 - Creating openings in walls	
	138.41 m2	T03 - Demolish Internal Walls	
	131.92 m2	T03 - Removal of Cladding	
	67.58 m2	T03 - Removal of Concrete	
	317.48 m2	T03 - Removal of existing roof	
	193.75 m2	T03 - Removal of Trusses	
	62.04 m2	T03 - Removal of Walls	
	6.00 no	Rubbish Removal	
T04	<u>Groundworks - PC SUM</u>		\$ 5,000.00
	78.09 m2	T04 - Dig out foundations and slab - Excavator	
	24.00 no	T04 - Dig out concrete pads for stumps	
	23.43 m3	T04 - Crushed rock	
	11.71 m3	T04 - Filling of sand under slab	
T06	<u>Concrete, Formwork & Reo</u>		\$ 21,000.00
	1.00 no	Concrete pumping	
		<u>Concrete placement</u>	
		<u>Ground Floor</u>	
	3.26 m3	T06 - 01 - EB1 - 500x300	

2.86 m3	T06 - 02 - EB2 - 670x300		
1.08 m3	T06 - 03 - IB1 - 500x300		
0.69 m3	T06 - 04 - IB2 - 670x300		
1.48 m3	T06 - 05 - IB3 - 670x300		
7.81 m3	T06 - 06 - 100mmT Slab		
0.95 m3	T06 - Pad footings		
0.90 m3	T06 - Strip Footing		
	Formworks		
	<u>Ground Floor</u>		
25.18 m	T07 - Slab Edges		
	Reinforcement		
3.26 m3	T08 - 01 - EB1 - 500x300		
2.86 m3	T08 - 02 - EB2 - 670x300		
1.08 m3	T08 - 03 - IB1 - 500x300		
0.69 m3	T08 - 04 - IB2 - 670x300		
1.48 m3	T08 - 05 - IB3 - 670x300		
7.81 m3	T08 - 06 - 100mmT Slab		
0.95 m3	T08 - Pad footings		
0.90 m3	T08 - Strip Footing		
10.55 m	T08 - Dowels to New Slab		
1.00 no	T08 - 06 - 100mmT Slab		
T11	<u>Tanking and Waterproofing Membranes</u>	\$	3,000.00
114.08 m2	T11 - Wet areas walls		
21.55 m2	T11 - Wet areas floors		
11.71 m2	T11 - Vapour barrier under slab		
T14	<u>Structural Steel</u>	\$	10,000.00
6.11 m	T14 - B1 - 250 PFC		
7.27 m	T14 - B2 - 310 UB 40		
14.45 m	T14 - B3 to B5 - 150 PFC		
13.32 m	T14 - C1 to C2 - 89x6 SHS		
T16	<u>Roofing</u>	\$	34,000.00
436.88 m2	T16 - Corrugated Colorbond		
54.23 m	T16 - Flashings		
71.03 m	T16 - Gutters		
T17	<u>Façade Systems</u>	\$	37,000.00
231.81 m2	Colorbond Façade		
142.10 m2	Weatherboard Façade		
T18	<u>Windows</u>	\$	50,000.00
1.00 qty	T18 - W01 - 2.00mH x 0.30mL - Fixed Glass - 2F		
1.00 qty	T18 - W02 - 2.10mH x 0.50mL - Fixed Glass - 2F		
4.00 qty	T18 - W03 - 2.10mH x 3.00mL - Triple Sliding - 1F		
1.00 qty	T18 - W04 - 2.10mH x 0.905mL - Fixed Glass - 2F		
2.00 qty	T18 - W05 - 0.80mH x 1.20mL - Awning - 1F		
1.00 qty	T18 - W06 - 0.79mH x 3.601mL - Fixed Glass - 1F		
1.00 qty	T18 - W07 - 4.607mH x 1.20mL - Fixed Glass - 2F		
1.00 qty	T18 - W08 - 2.10mH x 2.40mL - Left Sliding - 2F		
1.00 qty	T18 - W09 - 0.90mH x 1.50mL - Muller Unit - 1F		

1.00 qty	T18 - W10 - 1.80mH x 1.823mL - Mulled Unit - 2F
1.00 qty	T18 - W11 - 2.10mH x 1.76mL - Mulled Unit - 2F
2.00 qty	T18 - W12 - 0.60mH x 1.854mL - Mulled Unit - 2F
6.00 qty	T18 - W13 - 0.80mH x 2.997mL - Mulled Unit - 2F
1.00 qty	T18 - W15 - 2.70mH x 1.80mL - Fixed Glass - 1F
1.00 qty	T18 - W16 - 2.50mH x 0.30mL - Fixed Glass - 1F

T20 **Carpentry** \$ **196,000.00**

Walls

External Walls

15.74 m2	T20 - 90x45 External Wall @ 600 Ctrs - 1.00mH
8.07 m2	T20 - 90x45 External Wall @ 600 Ctrs - 1.20mH
16.41 m2	T20 - 90x45 External Wall @ 600 Ctrs - 1.60mH
7.41 m2	T20 - 90x45 External Wall @ 600 Ctrs - 2.00mH
11.01 m2	T20 - 90x45 External Wall @ 600 Ctrs - 2.60mH
7.69 m2	T20 - 90x45 External Wall @ 600 Ctrs - 2.70mH
18.36 m2	T20 - 90x45 External Wall @ 600 Ctrs - 2.90mH
53.46 m2	T20 - 90x45 External Wall @ 600 Ctrs - 3.33mH
15.33 m2	T20 - 90x45 External Wall @ 600 Ctrs - 3.80mH
4.00 qty	Plywood Bracing
137.74 m2	Sundries and Consumables
137.74 m2	Labour to install above

Internal Walls

2.39 m2	T20 - 90x45 Internal Wall @ 450 Ctrs - 1.0mH
12.82 m2	T20 - 90x45 Internal Wall @ 450 Ctrs - 1.2mH
1.32 m2	T20 - 90x45 Internal Wall @ 450 Ctrs - 1.6mH
14.29 m2	T20 - 90x45 Internal Wall @ 450 Ctrs - 2.9mH
74.74 m2	T20 - 90x45 Internal Wall @ 450 Ctrs - 3.1mH
40.30 m2	T20 - 90x45 Internal Wall @ 450 Ctrs - 3.3mH
30.72 m2	T20 - 90x45 Internal Wall @ 450 Ctrs - 3.4mH
35.90 m2	T20 - 90x45 Internal Wall @ 450 Ctrs - 3.8mH
4.00 qty	Plywood Bracing
212.47 m2	Sundries and Consumables
212.47 m2	Labour to install above

Insulation

350.22 m2	Wall Insulation
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Deck

73.62 m	T20 - Bearers - 190x45 H3 F7
246.66 m	T20 - Deck Joists - 140x45 H3 F7
38.76 m	T20 - Deck Battens - 90x45 H3
169.22 m2	T20 - Decking
24.00 qty	Stirrups
169.22 m2	Sundries and Consumables
169.22 m2	Installation of above

Floor Framing

3.10 m	T20 - 150x50 Ledger Beam
193.95 m	T20 - J1 to J4 - 200x45 LVL
13.32 m	T20 - J5 - 140x45 H3

16.59 m	T20 - L1 to L5 - 200x63 LVL
9.51 m	T20 - L6 to L8 - 200x45 LVL
4.01 m	T20 - L9 - 240x63 LVL
3.12 m	T20 - L10 - 200x45 LVL
3.63 m	T20 - L11 - 240x63 LVL
2.42 m	T20 - L12 - 200x63 LVL
71.36 m2	Sundries and Consumables
71.36 m2	Installation of above
	<u>Roof Framing</u>
708.13 m	T20 - R1 - 240x63LVL @ 450 Ctrs
379.32 m	T20 - R2 to R3 - 200x45 LVL
436.88 m2	Sundries and Consumables
436.88 m2	Installation of above
	<u>Floor Finishes</u>
47.30 m2	T20 - GF - Yellow Tongue
47.30 m2	Installation of above
5.83 m2	T20 - FF - Fibre Cement Board
5.83 m2	Installation of above
	<u>Stairs - PC SUM - \$8000</u>
1.00 qty	Stairs - MDF treads, stringers and risers
1.86 m	T20 - Balustrade
	<u>Finishing Carpentry</u>
	<u>Architraves</u>
18.00 qty	T20 - Internal and External doors
18.00 qty	Installation of above
	<u>Skirting</u>
162.51 m	T20 - Skirtings
162.51 m	Installation of above
	<u>Fascia & Soffit</u>
104.95 m	Fascia board
60.98 m	Soffit lining - 600mmW
43.97 m	Soffit lining - 1200mmW
104.95 m	Installation of above

T20	Plasterboard Ceilings and partitions	\$	54,000.00
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	<u>Plasterboard Ceiling</u>
257.82 m2	T20 - Plasterboard Ceiling
21.55 m2	T20 - Plasterboard Ceiling (MR)
	<u>Partitions</u>
	<u>Plasterboard & Whiteset</u>
424.95 m2	T21 - Plasterboard & whiteset

T24	Doors	\$	39,000.00
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1.00 qty	D00 - 5.40mW x 2.10mH - Garage Door
2.00 qty	D01 - 1.64mW x 2.10mH
11.00 qty	D04/D09 - 0.82mW x 2.04mH - Internal door
2.00 qty	D05/D06 - 0.82mW x 2.1mH
2.00 qty	D07 - 4.1 x 2.1mH - Large sliding door
18.00 qty	Sundries and Consumables

T25	Hardware - PC SUM		\$	2,000.00
	2.00 qty	D01 - 1.64mW x 2.10mH		
	11.00 qty	D04/D09 - 0.82mW x 2.04mH - Internal door		
	2.00 qty	D05/D06 - 0.82mW x 2.1mH		
	2.00 qty	D07 - 4.1 x 2.1mH - Large sliding door		
T27	Tiling, slab and paving		\$	20,000.00
	114.08 m2	T27 - Wall tiles - Incl PC SUM \$40/m ² for tile supply		
	21.55 m2	T27 - Floor tiles - Incl PC SUM \$40/m ² for tile supply		
T29	Painting works		\$	23,000.00
	424.95 m2	Painting - Internal Walls		
	279.37 m2	Painting - Ceiling		
	142.10 m2	Painting - Weatherboard External		
T30	Joinery - PC SUM		\$	45,000.00
	1.00 qty	Benchtops		
	2.00 qty	Splashback		
	1.00 qty	Kitchen		
	1.00 qty	Laundry		
	1.00 qty	Linen cupboard		
	1.00 qty	Wardrobe		
	1.00 qty	Storage		
	3.00 qty	Vanity - Single		
	1.00 qty	Vanity - Double		
T31	Furniture, fittings and equipment		\$	26,000.00
		<u>Supply Appliances - PC SUM - \$3500</u>		
		Oven		
		Cooktop		
		Dishwasher		
		Rangehood		
		Bin		
		<u>Fixtures and Fittings - PC SUM - \$13000</u>		
		Basin		
		Baths		
		Shower		
		Shower screens		
		Toilets		
		Bath mixer		
		Basin Mixer		
		Robe Hook, Towel Rail, Toilet roll holder		
		<u>Light fittings - PC SUM - \$13000</u>		
		Lighting supply		
T32	Plumbing Works - PC SUM		\$	40,000.00
T34	Electrical installation - PC SUM		\$	28,000.00
T35	Air conditioning – PC SUM		\$	10,000.00
		Sub Total – excluding GST	\$	681,000.00
		Goods and Services Tax @ 10%		\$68,100.00
		Total – including GST	\$	749,100.00

Please note:

1. **Prime Cost and Provisional Item Summary**

All prime cost items are to be selected and supplied by the client. Prior to ordering PC items, selected items specifications are to be reviewed by Builder, Architect, and the relevant trade to ensure items comply with general requirements, Basix commitments and are suitable for their intended use.

All Provisional Sum items are estimated allowances that cannot be included in the tender as a fixed sum for varying reasons, such as (but not limited to):

- Potential unforeseen circumstances such as encountering rock within the zone of influence during excavation of structural footings, drainage lines, etc;
- Client selection to be confirmed on site;
- Details missing/unconfirmed at time of tender submission.

All Provisional Sum allowances listed are subject to Builders margin and GST.

These items will be completed as required to comply with all relevant engineering, architectural plans, project specifications, manufacturers specifications and any applicable regulatory authorities, including the appointed PCA and all relevant Australian Standards.

2. **Mark up on Variations, Provisional Sums and Final Costs**

A Mark Up of 15% will be applied to any variation requested by either the client or Architect. The margin is also applicable to any works that are required to comply with Australian standards or the requests/requirements of any regulatory authority. All variations will be written and submitted to the client and Architect for approval. Work relating to that variation will not commence until the relative variation is signed and approved by both parties or their representative.

A Mark Up of 15% will also be applicable to any Provisional Sum and final cost amounts that form part of Stellar Construction contract, or items Stellar Construction will provide warranty for the completion of the project. Should works be carried out by a contractor or supplier that are not part of the Stellar Construction contract, then these works would not attract a markup or margin. These items would require a separate contract with the Client, and the contractor or supplier would need to provide their own warranty on the works completed by them.

3. **Commencement and Completion**

Commencement date: TBA

At the time of this proposal, Stellar Construction has capacity to service your project. Once we have signed the 'Building Works Contract' and the cooling off period has expired, Stellar Construction will order the iCare Insurance required for the project. On receiving the iCare insurance certificate, a copy will be sent to the Client and Project Certifier. The project cannot commence until the Certifier issues the Construction Certificate and all notice periods have expired.

Completion date: 32 weeks from actual Commencement Date

The project is estimated to take a construction period of 20 working weeks. Being 7am – 3:30pm 5 days a week. Inclement weather, Scope of work changes or circumstances outside of Stellar Construction control may impact this time frame. Stellar Construction will update the Owner if delays impact our nominated Time Frame. Stellar Construction will liaise and co-ordinate with the Owner, trades, and authorities to ensure an

efficient build time and minimise any delays.

4. **Exclusions and Client Responsibilities**

Unless an item is specifically detailed in this Tender, then that item has not been included in this project.

Excluded items

Project Specific

- No management, removal or disposal of asbestos
- Project management costs - managed while onsite
- Ceiling joists - raked ceiling assumed
- Carpets
- Curtains and Blinds
- Finished timber flooring
- Drainage works
- Landscaping works
- Home warranty insurance - by owner
- Supply or installation of washing machine, dryer or Fridge
- No Fire rating to ceilings, walls, doors or floors has been allowed for
- All Authority applications and fees are excluded
- No allowance included for any works not shown on the markup drawings.

General Exclusions

- Night works
- We are not responsible for the quality or performance of client supplied materials
- Expenditure beyond allowances and inclusions in this tender
- Connection to Service mains and pay TV
- Fees and charges incurred by third party authorities and regulatory bodies
- Permits and applications to Local Council
- Renewal or upgrades to existing Services unless otherwise stated
- PCA fees and charges
- Architectural or Designer fees and charges
- Engineering and consultant's fees and charges
- Surveyor and Set out costs as required for the project
- Anything listed as By Owner in the Scope of Works
- Anything not specifically marked as Included or Provisional Sum in the scope of works
- No allowance included for any works not shown on the markup drawings
- 90mm cove cornice to newly renovated walls and ceiling junctions.

5. **General and Preliminaries**

All works to be completed in accordance with BCA, current Australian Standards. In addition, works will be completed in accordance with relevant third-party authorities and the local council requirements as outlined in the DA Consent.

Prior to construction, Stellar Construction will supply and erect site fencing and signage in accordance with the Development Application Consent. Provide Workers Compensation for all workers. Where subcontractors are engaged to complete the works, we will ensure said contractors hold the appropriate licence, workers compensation/injury illness and public liability insurance. Stellar Construction will supply and pay superannuation entitlements for all workers. And supply public liability and Builders Works insurance for the duration of this project.

Provide site supervision and construction management to co-ordinate project and liaise with owners, architects, subcontractors, suppliers, and relevant authorities for duration of project from commencement to completion of the works as outlined in this tender.

Existing facilities to be used for duration of the project, including fresh water, power, and amenities. Nil allowances for additional facilities.

Nil Provision for work permits or fees and charges from third party authorities such as, but not limited too; Council, Sydney Water, Jemena etc. Any such charges will be included as a variation or made payable direct to the third-party owner.

Provide protection to the existing premises. Ensure existing premises are kept secure and the areas affected by the building works are to be kept weather tight, clean, and tidy for the duration of the project.

6. **Demolition**

Demolition of existing structure and materials as described in the tender documentation and architectural plans to facilitate set out and excavation. The residence will be kept secure and weather tight for the duration of the project. Dust and noise are unavoidable in most demolition situations. The work location can often be dangerous, so to be sure to have young children and pets out of the work area and an unobstructed path cleared through your home to the outdoors.

Additional demolition may be required other than shown on plan to allow access for plant and equipment to facilitate installation of structural components of the project.

Site works and property clearing includes removal of trees, brush and surface covering such as lawn and pavers from property within limits of disturbance and as defined for removal of site development plans. Stumps to be ground or removed per Builder's discretion and debris removed from property. Live trees that are not called out for removal shall remain. Trees that have been identified and marked for protection in the arborist report on in the conditions of consent will have tree protection zones established in accordance with the Arborist and consent conditions.

7. **Excavation, Site Clearing, Surface Preparation, and soil removal**

A provisional sum has been allowed to excavate for footings, foundations, and slabs as per architectural and engineering sketches provided. Includes excavation for service line and connection points within the property, a visual inspection will be required by plumber and electrician prior to excavation and once services have been located. If rock is encountered within the excavation, consultation with the Engineer will be required before proceeding with the excavation. No allowance to excavate for underground consumer or service mains into the property. Unless otherwise instructed all calculated for excavation in VENM other than rock.

Circumstances not considered or included are:

- Rock
- Soft/reactive clays
- Unsuitable or unstable soil conditions
- Hidden/unforeseen wells, tanks, pits etc.
- Disturbance of services hidden in area of excavation
- Access restrictions for plant and equipment

While all care will be taken during the excavation process Stellar Construction does not accept responsibility for damage that may occur to footpaths, driveways, or underground services.

Additional works maybe required depending on site and soil conditions. Additional charges may be applicable.

8. **Scaffolding**

Allowance has been made for the supply and build + 24-week hire including dismantle and transportation of external scaffolding required around perimeter of property.

Supply, build and movement of internal mobile scaffold for the duration of the Build.

An ongoing cost per week may incur if the build requires the use of external scaffold past the three (6) month allocated time. Inclement weather, scope of work changes or circumstances outside of Stellar Construction's control may impact this time frame.

9. **Waterproofing**

Three coats of waterproofing will be applied in total complying with the Building Code of Australia and **Australian Standards AS 3740 - Waterproofing of domestic wet areas**. Two coats to the flooring and one coat applied to the sand and cement bed.

We trust that the above quotation and information meets with your approval, however if you have any questions, or if we can be of assistance to you in any other way, please do not hesitate to contact us.

Thank you for your consideration.








Yours faithfully,

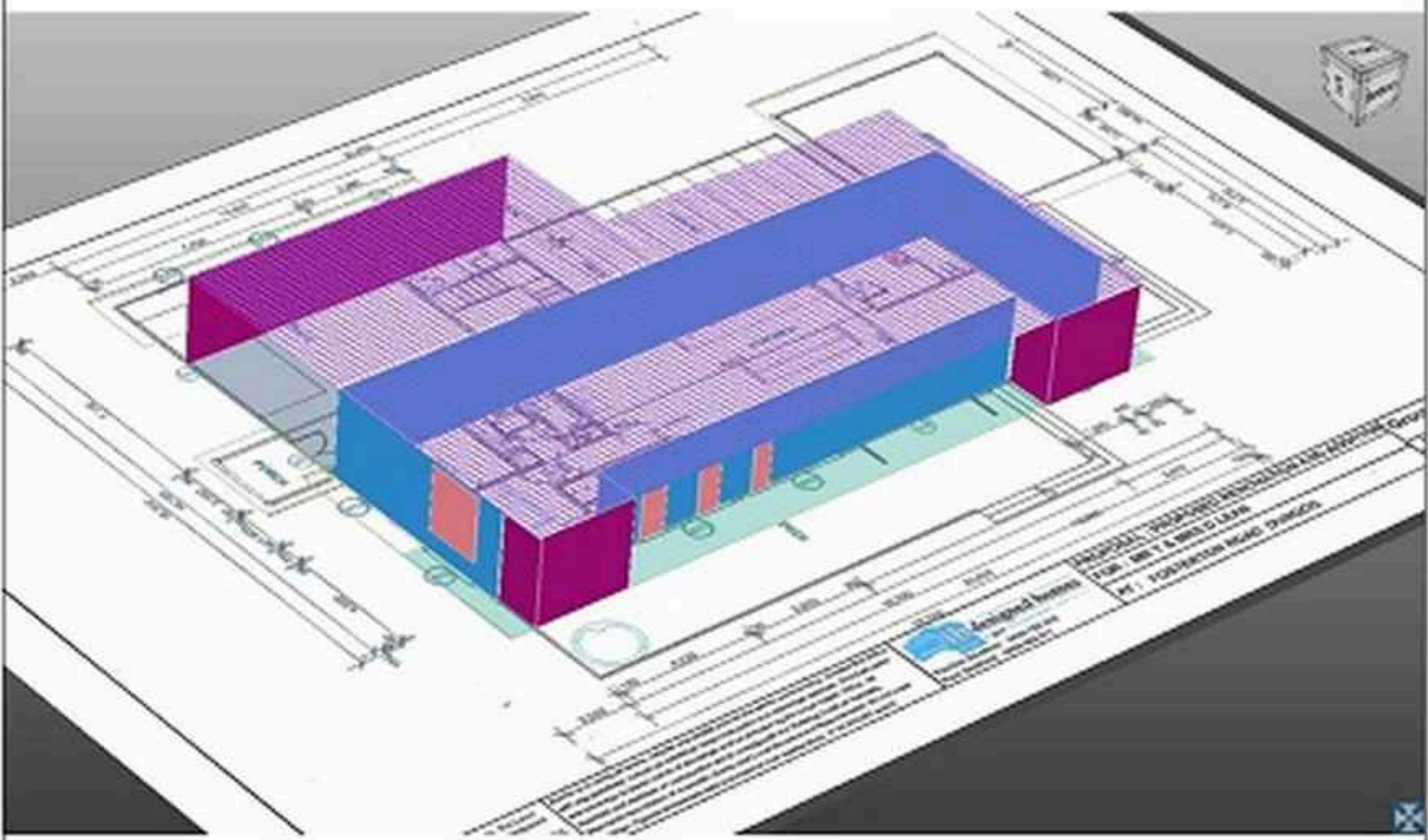
Cormac Gray



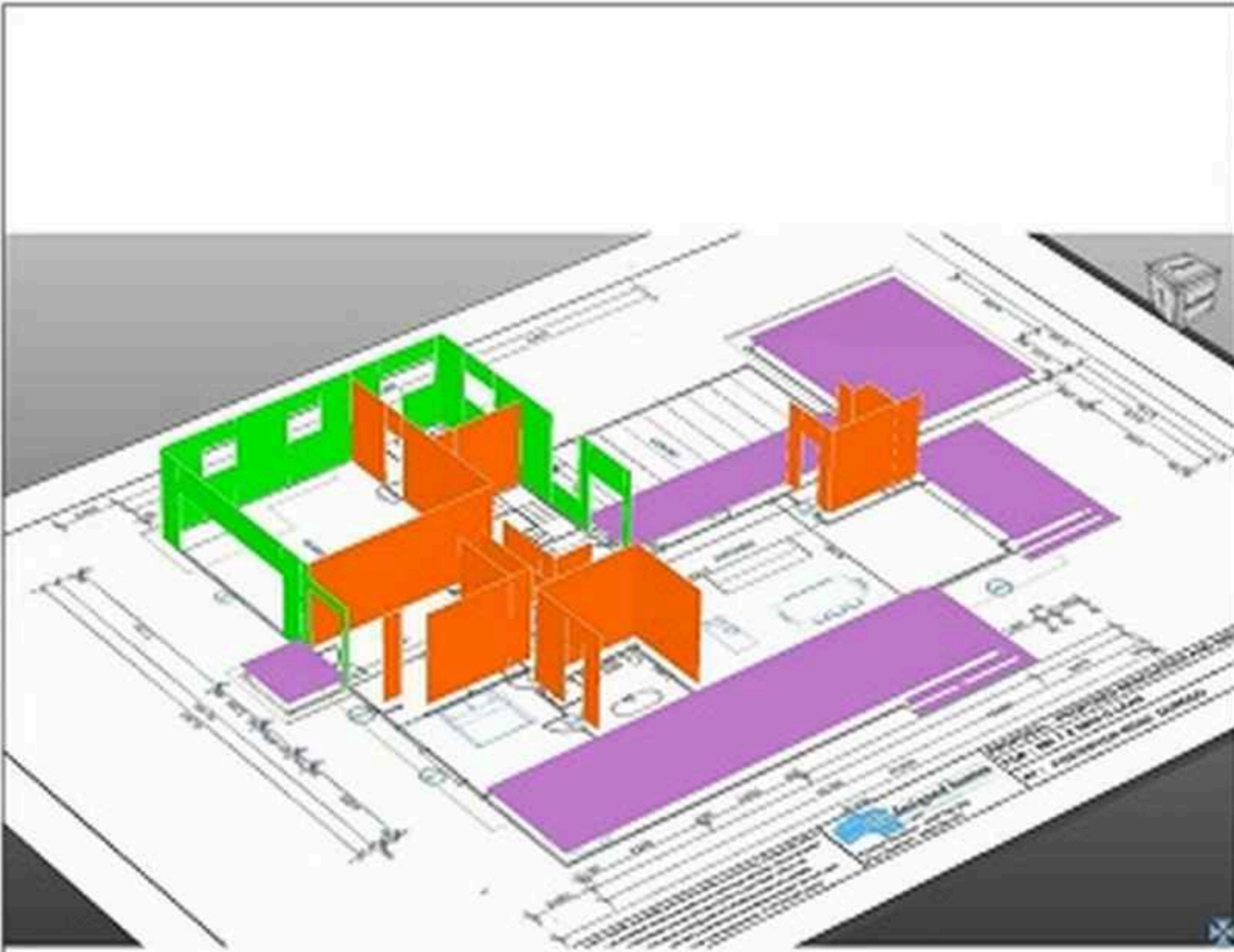
MATRIX ESTIMATING

Legend

T13 - Demolition		
	T13 - Creating openings in walls	18.57 m ²
	T13 - Demolish Internal walls	133.41 m ²
	T13 - Removal of Cladding	111.92 m ²
	T13 - Removal of Concrete	87.55 m ²
	T13 - Removal of existing roof	317.43 m ²
	T13 - Removal of Trusses	223.75 m ²
	T13 - Removal of Walls	82.09 m ²



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Legend

T30 - Carpentry		
F28 - Decking		185.52 m ²
T30 - Carpentry/CE - Structural Timber		
T28 - 90x45 External Wall @ 600 Ctrs - 1.00mH	4.46 m ²	
T28 - 90x45 External Wall @ 600 Ctrs - 1.20mH	1.87 m ²	
T28 - 90x45 External Wall @ 600 Ctrs - 1.60mH	26.42 m ²	
T28 - 90x45 External Wall @ 600 Ctrs - 3.30mH	44.95 m ²	
T28 - 90x45 Internal Wall @ 450 Ctrs - 1.20mH	20.13 m ²	
T28 - 90x45 Internal Wall @ 450 Ctrs - 1.30mH	24.72 m ²	
T28 - 90x45 Internal Wall @ 450 Ctrs - 1.30mH	31.15 m ²	
T28 - 90x45 Internal Wall @ 450 Ctrs - 2.40mH	30.72 m ²	



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Legend

T20 - Cecestry		
T29 - Skirtings	115.82 m	
T20 - Cecestry(2) - Structural Timber		
T29 - Boards - 220x45 H3 F7	73.62 m	
T29 - Deck Boards	28.76 m	
T29 - Deck Joists - 140x45 H3 F7	112.29 m	
T29 - L1 to L5 - 200x45 LVL	36.58 m	
T29 - L10 - 200x45 LVL	3.12 m	
T29 - L11 - 240x45 LVL	1.63 m	
T29 - L5 to L8 - 200x45 LVL	9.51 m	
T29 - L9 - 240x45 LVL	4.21 m	
T29 - R1 - 240x45 LVL @ 600 Ctrs	708.13 m	



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PROPOSED RENOVATION AND ADDITION
FOR: BILLY & WENDY LEAN
471 POSTERIDGE ROAD DUNDAS

Ground Floor Plan
Scale: 1/20
Date: 10/11/20
Page: 1 of 20



MATRIX ESTIMATING

Legend

T20 - Carpentry		
T20 - Decking		3.70 m2
T20 - Carpentry\01 - Structural Timber		
T20 - 90x45 External Wall @ 600 Ctrs - 1.00mH		11.28 m2
T20 - 90x45 External Wall @ 600 Ctrs - 1.20mH		6.20 m2
T20 - 90x45 External Wall @ 600 Ctrs - 2.00mH		7.41 m2
T20 - 90x45 External Wall @ 600 Ctrs - 2.60mH		11.01 m2
T20 - 90x45 External Wall @ 600 Ctrs - 2.70mH		7.69 m2
T20 - 90x45 External Wall @ 600 Ctrs - 2.90mH		18.36 m2
T20 - 90x45 External Wall @ 600 Ctrs - 3.33mH		8.51 m2
T20 - 90x45 External Wall @ 600 Ctrs - 3.80mH		15.33 m2
T20 - 90x45 Internal Wall @ 450 Ctrs - 1.0mH		2.39 m2
T20 - 90x45 Internal Wall @ 450 Ctrs - 1.2mH		2.72 m2
T20 - 90x45 Internal Wall @ 450 Ctrs - 1.6mH		1.32 m2
T20 - 90x45 Internal Wall @ 450 Ctrs - 2.9mH		14.29 m2
T20 - 90x45 Internal Wall @ 450 Ctrs - 3.3mH		9.14 m2
T20 - 90x45 Internal Wall @ 450 Ctrs - 3.8mH		35.90 m2



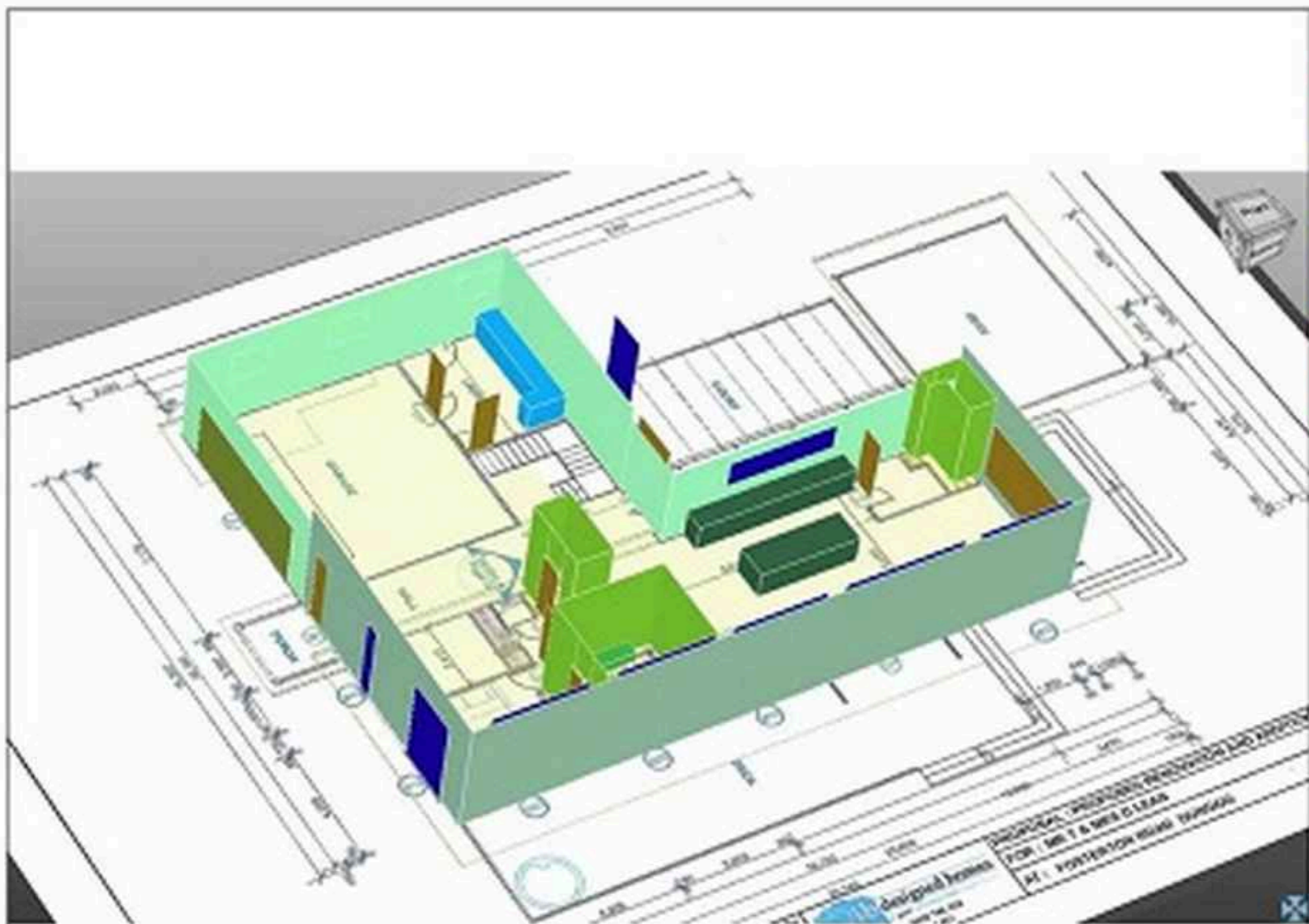
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Legend

T28 - Carpentry	
T29 - Skirting	46.69 m
T28 - Carpentry/28 - Structural Timber	
T20 - 150x50 Ledger Beam	3.30 m
T20 - 21 to 24 - 200x45 LVL	193.95 m
T20 - 25 - 140x45 H3	13.32 m
T20 - L12 - 200x45 LVL	2.42 m
T20 - R2 to R3 - 200x45 LVL	279.32 m



MATRIX ESTIMATING



Legend

T13 - Facade System	
T17 - Corbond	117.28 m2
T17 - Weatherboard	342.18 m2
T18 - Windows	
T18 - Windows	17.80 no
T20 - Carpenter/CS - Board Brakes	
T29 - Ceilings	301.58 m2
T29 - MR Ceilings	15.74 m2
T24 - Doors	
T24 - External Doors	5.80 no
T24 - Roller shutters	1.80 no
T24 - Timber doors	5.80 no
T21 - Tiling, Slop and Paving	
T27 - Floors	13.95 m2
T27 - Walls	83.93 m2
T30 - Joinery	
T30 - Kitchen Cabinets	2.80 no
T30 - Laundry	1.80 no
T30 - Linon	1.80 no
T30 - Vanity - Double	1.80 no
T30 - Vanity - Single	2.80 no

Designed by
 10/10/18

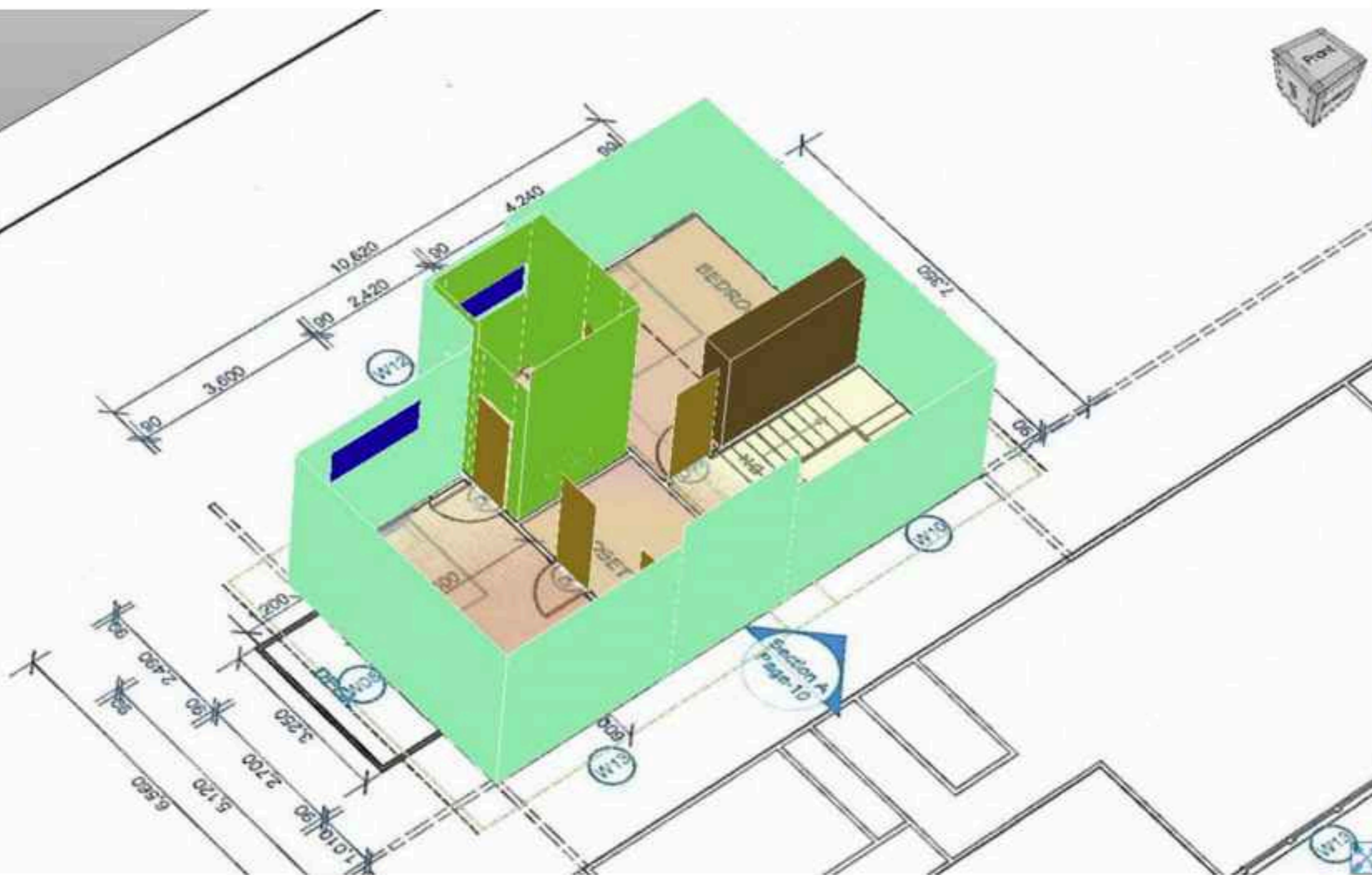
PROFESSIONAL ARCHITECTURAL SERVICES LTD
 FOR I ME T & ME B L E A S
 AT PORTERSON ROAD TRARUA



MATRIX ESTIMATING

Legend

T17 - Façade System	
T17 - Colorbond	114.60 m2
T18 - Windows	
T18 - Windows	10.00 no
T20 - Carpentry\03 - Board finishes	
T20 - Ceilings	56.23 m2
T20 - Fibre Cement Board	5.83 m2
T20 - MR Ceilings	5.81 m2
T20 - Yellow Tongue	47.30 m2
T24 - Doors	
T24 - Timber doors	5.00 no
T27 - Tiling, Slab and Paving	
T27 - Floors	5.90 m2
T27 - Walls	30.17 m2
T30 - Joinery	
T30 - Vanity - Single	1.00 no
T30 - Wardrobe	1.00 no



MATRIX ESTIMATING

Legend

Ty6 - Roofing		
T15 - Corrugated Corbord	313.82 m ²	
T18 - Flashings	34.23 m	
T16 - Gutters	47.52 m	
F30 - Carpentry		
T20 - Skirlings	115.82 m	
T20a - Facia and Soffit - 1200mmW	43.57 m	
T20a - Facia and Soffit - 600mmW	17.56 m	



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PROPOSAL FOR THE RECONSTRUCTION AND RENOVATION OF THE
 FOR: UN T & WILD LARK
 #71 FOR THE NEW BUILDING

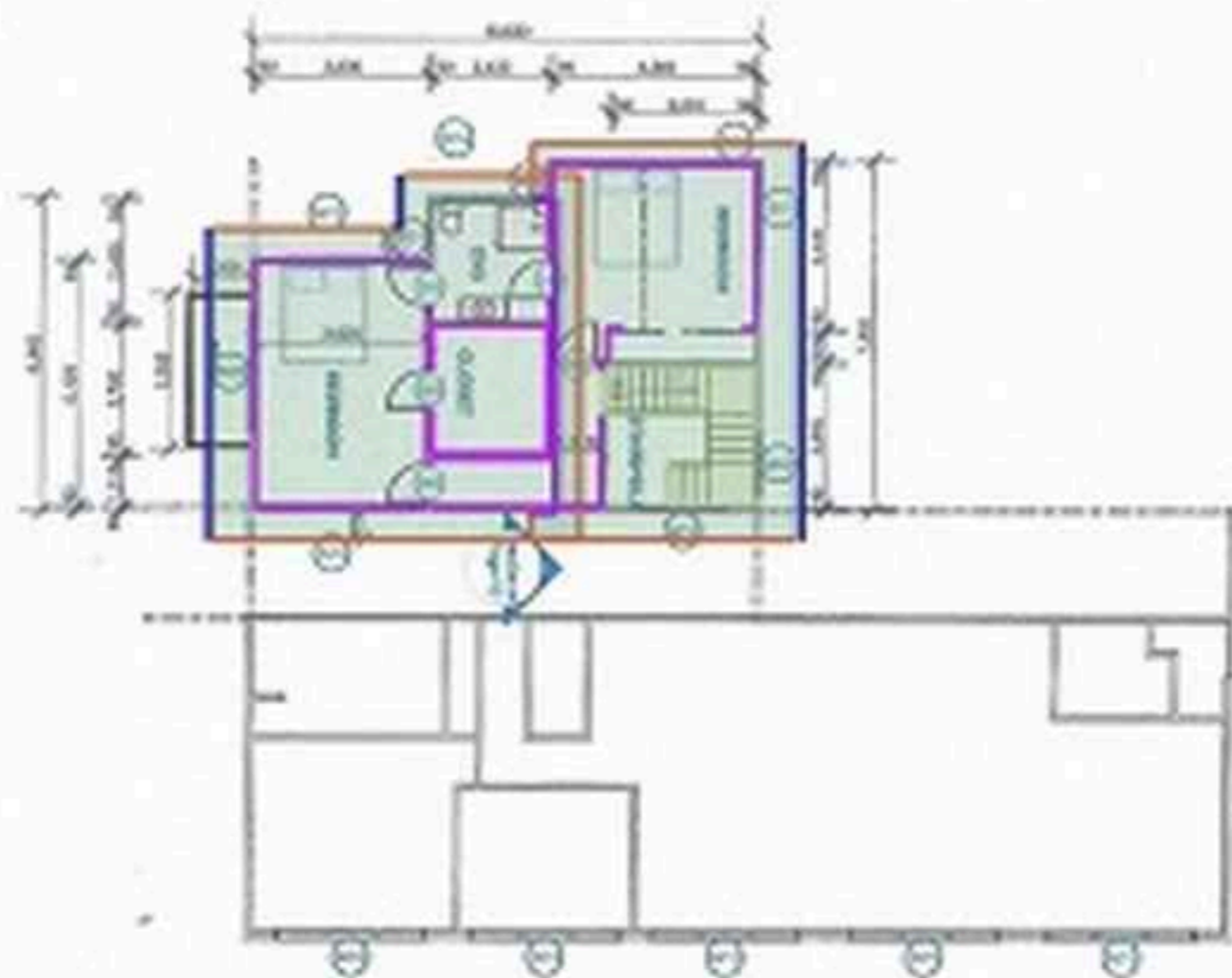
Ground Floor Plan
 Scale: 1:100
 Date: 10/10/2014
 Page: 4 of 10



MATRIX ESTIMATING

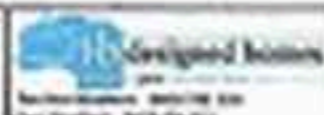
Legend

T15 - Roofing		
T26 - Corrugated Colourbond	122.06 m ²	
T28 - Rafters	7.88 m	
T36 - Gables	15.52 m	
T20 - Carpentry		
T20 - Skirtings	48.69 m	
T20 - Stairs	1.00 m ²	
T20a - Facade and Soffit - 600mmW	43.40 m	



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PROJECT: PROPOSED RETAIL/COMMERCIAL BUILDING
 FOR: MR T & MRS D LEAN
 NO: 10000000000000000000

First Floor Plans
 Scale: 1:100
 Date: 10/11/22



MATRIX ESTIMATING

Legend

- T14 - Structural Steel
- T14 - B1 - 250 PFC 6.11 m
- T14 - B2 - 310 UB 40 7.27 m
- T14 - B3 to B5 - 150 PFC 14.45 m
- T14 - C1 to C2 - 89x6 SHS 4.00 no

