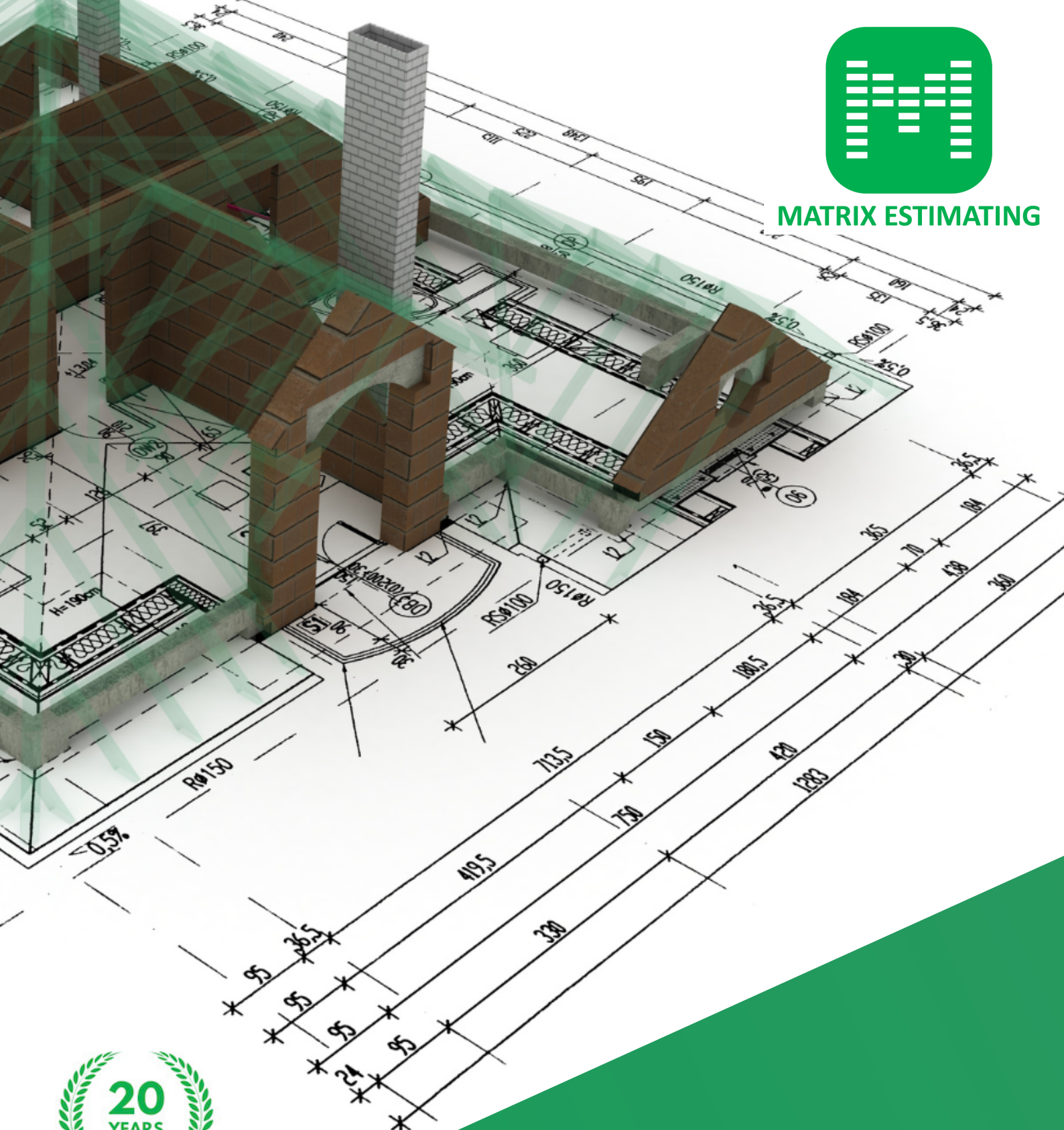


MATRIX ESTIMATING



Budget Estimate



MATRIX ESTIMATING

28 Parkes Street, Nelson Bay, 2315

cormac@matrixestimating.com.au

Cormac Gray: 0415 798 401

14 April 2024

Quotation No: **FT24002-0A:**

It is with pleasure that we forward our budget estimate for the project as requested. This quotation is based on the accompanying marked-up document.

Our summary is as follows:

Code	Description	(Excl GST)
T02	Preliminaries	\$29,000.00
T04	Groundworks	\$10,718.00
T05	Piling	\$5,700.00
T06	Concrete, Formwork and Reo	\$174,535.00
T11	Tanking and Waterproofing Membranes	\$16,148.00
T12	Masonry	\$173,886.00
T14	Structural Steel	\$18,000.00
T15	Metal Works	\$102,914.00
T16	Roofing	\$56,605.00
T17	Façade Systems	\$50,112.00
T18	Windows	\$44,254.00
T20	Carpentry	\$125,185.00
T21	Partitions	\$62,460.00
T22	Ceiling	\$19,737.00
T24	Doors	\$18,250.00
T25	Hardware	\$2,520.00
T27	Tiling, slab and paving	\$22,511.00
T28	Carpet and Resilient Finishes	\$6,755.00
T29	Painting works	\$24,348.00
T30	Joinery - PC SUM	\$47,250.00
T31	Furniture, fittings and equipment	\$19,480.00
T32	Hydraulics	\$121,072.00
T34	Electrical installation	\$42,149.00
T35	Mechanical Installations	\$21,600.00
T37	Exterior Elements	\$26,000.00
Sub Total – excluding GST		\$1,241,189.00
Goods and Services Tax @ 10%		\$124,118.90
Total – including GST		\$1,365,307.90

Our detailed estimate is as follows:

Code	Description	Qty	(Excl GST)
T02	Preliminaries		\$29,000.00
	Plant and scaffolding	1 QTY	\$15,000.00
	Temporary services	1 QTY	\$1,500.00
	Waste management	10 QTY	\$7,500.00
	Sundries and consumables	1 QTY	\$5,000.00
	Project management		
T04	Groundworks		\$10,718.00
	01 - Excavation		
	Excavation for foundation footings	17.80 m3	
	Excavation for services	1.00 qty	
	Remove Offsite - Tipping Fees	2.00 no	
	Crushed Rock (footings and slab)	20.20 m3	
T05	Piling		\$5,700.00
	P1 - 500x500 Bucket Pier	16.00 no	
	P2 - 600x600 Bucket Pier	9.00 no	
T06	Concrete, Formwork and Reo		\$174,535.00
	Concrete pumping	7.00 no	
	<u>Concrete placement</u>		
	T06 - FB1 - Footing Beam 400x400	11.96 m3	
	T06 - PF1 - Pad Footing - 1200x1200x400	1.16 m3	
	T06 - 125 SOG - Slab on ground	9.14 m2	
	T06 - 140 SOG - Slab on ground	126.72 m2	
	T06 - 150 - Suspension slab	105.22 m2	
	T06 - 200 - Suspension slab	169.77 m2	
	T06 - 300x300 Deep Edge Thickening	0.76 m3	
	T06 - 450x400 - Edge Beam	4.16 m3	
	T06 - 600x400 - Edge Beam	3.09 m3	
	T06 - C1 - Column 400dia	2.00 no	
	T06 - Conc. landing to timber ramp	1.00 no	
	<u>Formworks</u>		
	T07 - Slab Edges	62.35 m	
	T07 - Slab edge of suspended slab	71.20 m	
	T07 - Sides of Ramps	18.25 m	
	T06 - Step down - 50mm	20.44 lm	
	T06 - Step down - 120mm	41.46 lm	
T11	Tanking and Waterproofing Membranes		\$16,148.00
	T11 - Floors - Bathroom	23.66 m2	
	T11 - Walls - Bathroom	85.51 m2	
	Slab on ground insulation	135.86 m2	
	Suspended slab insulation	274.99 m2	
T12	Masonry		\$173,886.00
	T12 - Conc. Block Column - 140mm - 3.2mH	12.00 qty	
	T12 - Conc. Block Retaining Wall	133.63 m2	
	T12 - Concrete Block Wall - 140mm	218.42 m2	
	T12 - Masonry to fireplace	10.27 m2	
	T12 - P1 - Masonry Pier - 500x500 - 1.1mH	3.00 no	
	T12 - P2 - Masonry Pier - 600x600 - 1.1mH	8.00 no	
T14	Structural Steel		\$18,000.00
	T14 - SC1 - 89x89x5.0 SHS Columns	72.00 lm	
T15	Metal Works		\$102,914.00
	T15 - Balustrades and handrails	82.91 m	
	T14 - Steel Stringer Staircase	1.00 no	
T16	Roofing		\$56,605.00
	T16 - Roof Sheeting	282.46 m2	
	T16 - Insulation	287.71 m2	

	T16 - Soffit Lining - Fibre cement	46.76 m2
	T16 - Window Awning	12.00 qty
	T16 - Downpipes	4.00 qty
	T16 - Eaves Gutters	19.37 m
	T16 - Fireplace Flue	1.00 qty
	T16 - Flashings	74.34 m
T17	Façade Systems	\$50,112.00
	CL 01 - EX - Wall Battens/ Top Hats	230.45 m2
	CL 05 - EX - Base, Corner, Window Trims	171.69 m
	CL 03 - EX - Cladding	230.45 m2
T18	Windows	\$44,254.00
	T18 - Glass windows	59.01 m2
T20	Carpentry	\$125,185.00
	<u>External Walls</u>	
	EW 02 - LGF - Stud Walls 150x36 LVL - 2.7mh	110.26 m2
	EW 03 - FF - Stud Walls 150x36 LVL MGP10 - 3.2mh	76.31 m2
	EW 04 - FF - Stud Walls 150x36 LVL - 4.15mh	92.42 m2
	EW 05 - BA - Stud Walls 150x36 LVL - 3.65mh	48.81 m2
	Bracing of Walls	9.0 qty
	Sarking	230.45 m2
	<u>Internal Walls</u>	
	EW 01 - LGF - Stud Walls 90x45 MGP10 - 2.7mh	19.93 m2
	EW 02 - FF - Stud Walls 90x45 MGP10 - 3.6mh	94.35 m2
	<u>Floor Finishes</u>	
	<u>02 - Ground Floor</u>	
	T20 - FF 02 - GF - Timber Flooring	81.54 m2
	T20 - FF 04 - GF - Ramps - Decking boards and structural framing	8.40 m2
	<u>Roof Framing</u>	
	<u>Rafters and Beams</u>	
	RO 02 - R1 - 200 x 45 Hyspan @ 600 Cts	485.11 m
	RO 03 - JR1 - 240 x 45 Hyspan	47.55 m
	RO 04 - ST - RB1 - 3/200x63 Hyspan Beams	25.40 m
	RO 05 - ST - Lintel - 2/150x45 Hyspan	65.12 m
	RO 07 - RA - Roof Battens	595.67 m
	Labour to install	217.27 m2
	<u>Finishing Carpentry</u>	
	<u>Architraves</u>	
	Architraves	108.30 m
	<u>Skirting</u>	
	Skirting	141.65 m
T21	Partitions	\$62,460.00
	<u>Plasterboard & Whiteset</u>	
	T21 - FC Sheet @ One side - 3.0mH	25.05 m2
	T21 - FC Sheet @ One side - 3.2mH	66.49 m2
	T21 - Plasterboard & whiteset @ Both side - 3.0mH	10.54 m2
	T21 - Plasterboard & whiteset @ Both side - 3.2mH	21.65 m2
	T21 - Plasterboard & whiteset @ Both side - 3.4mH	46.97 m2
	T21 - Plasterboard & whiteset @ One side - 3.0mH	129.40 m2
	T21 - Plasterboard & whiteset @ One side - 3.2mH	87.59 m2
	T21 - Plasterboard & whiteset @ One side - 3.4mH	10.44 m2
	T21 - Plasterboard & whiteset @ One side - 3.6mH	81.23 m2
	<u>Internal Insulation</u>	
	Plasterboard Walls	479.36 m2
	Ceiling	197.37 m2
T22	Ceiling	\$19,737.00
	<u>Raked Ceiling</u>	
	T22 - Plasterboard & whiteset	179.32 m2
	T22 - Moisture Resistant PB	18.05 m2
T24	Doors	\$18,250.00

	FC 01 - DR - External Doors - Fire Rated	2.00 qty	
	FC 01 - DR - External Doors - Roller Shutter	1.00 qty	
	FC 03 - DR - Internal Doors - Passage lock	5.00 qty	
	FC 05 - DR - Cavity Sliding Doors	7.00 qty	
T25	Hardware		\$2,520.00
	FC 01 - DR - External Doors - Fire Rated	2.00 qty	
	FC 03 - DR - Internal Doors - Passage lock	5.00 qty	
	FC 05 - DR - Cavity Sliding Doors	7.00 qty	
T27	Tiling, slab and paving		\$22,511.00
	T27 - Wall tiles - Incl PC SUM \$40/m ² for tile supply	67.69 m2	
	T27 - Floor tiles - Incl PC SUM \$40/m ² for tile supply	18.23 m2	
	T27 - Pavers to Conc. Deck	87.33 m2	
T28	Carpet and Resilient Finishes		\$6,755.00
	Carpet - Incl Prime Cost Sum \$40/m ² for supply	84.43 m2	
T29	Painting works		\$24,348.00
	Internal Walls	218.76 m2	
	External Walls	307.73 m2	
	Ceiling	197.37 m2	
	Soffit	46.76 m2	
	Doors	52.92 m2	
	Architraves	16.25 m2	
	Skirting	21.25 m2	
	Deck Oil to Ramp	8.40 m2	
T30	Joinery - PC SUM		\$47,250.00
	T30 - Kitchen Cabinets	2.00 qty	
	T30 - Kitchen Island	1.00 qty	
	T30 - Laundry	1.00 qty	
	T30 - Linen	2.00 qty	
	T30 - Pantry	1.00 qty	
	T30 - Robe	1.00 qty	
	T30 - Vanity - Single	2.00 qty	
	T30 - WIR	2.00 qty	
T31	Furniture, fittings and equipment		\$19,480.00
	<u>01 - Equipment</u>		
	T31 - Bins	3.00 qty	
	T31 - Cooktop	2.00 qty	
	T31 - Curtains and blinds	7.00 qty	
	T31 - Dishwasher	1.00 qty	
	T31 - Fridge	2.00 qty	
	T31 - Rangehood	2.00 qty	
	T31 - Washing Machine	2.00 qty	
	<u>02 - Fittings</u>		
	T31 - Basin	3.00 qty	
	T31 - Basin Mixer	3.00 qty	
	T31 - Bath mixer	1.00 qty	
	T31 - Baths	1.00 qty	
	T31 - Robe Hook, Towel Rail, Toilet roll holder	6.00 qty	
	T31 - Shower	3.00 qty	
	T31 - Shower screens	3.00 qty	
	T31 - Toilets	3.00 qty	
T32	Hydraulics		\$121,072.00
	Building Area	320.56 m2	
	Hydronic Heating	1.00 qty	
T34	Electrical installation		\$42,149.00
	Building Area	320.56 m2	
T35	Mechanical Installations		\$21,600.00
	Extraction Flues	3.00 qty	
	Split cycle air con	3.00 qty	

T37	Exterior Elements		\$26,000.00
	Landscaping	400.00 m2	
	Drainage	400.00 m2	
		Sub Total – excluding GST	\$1,241,189.00
		Goods and Services Tax @ 10%	\$124,118.90
		Total – including GST	\$1,365,307.90

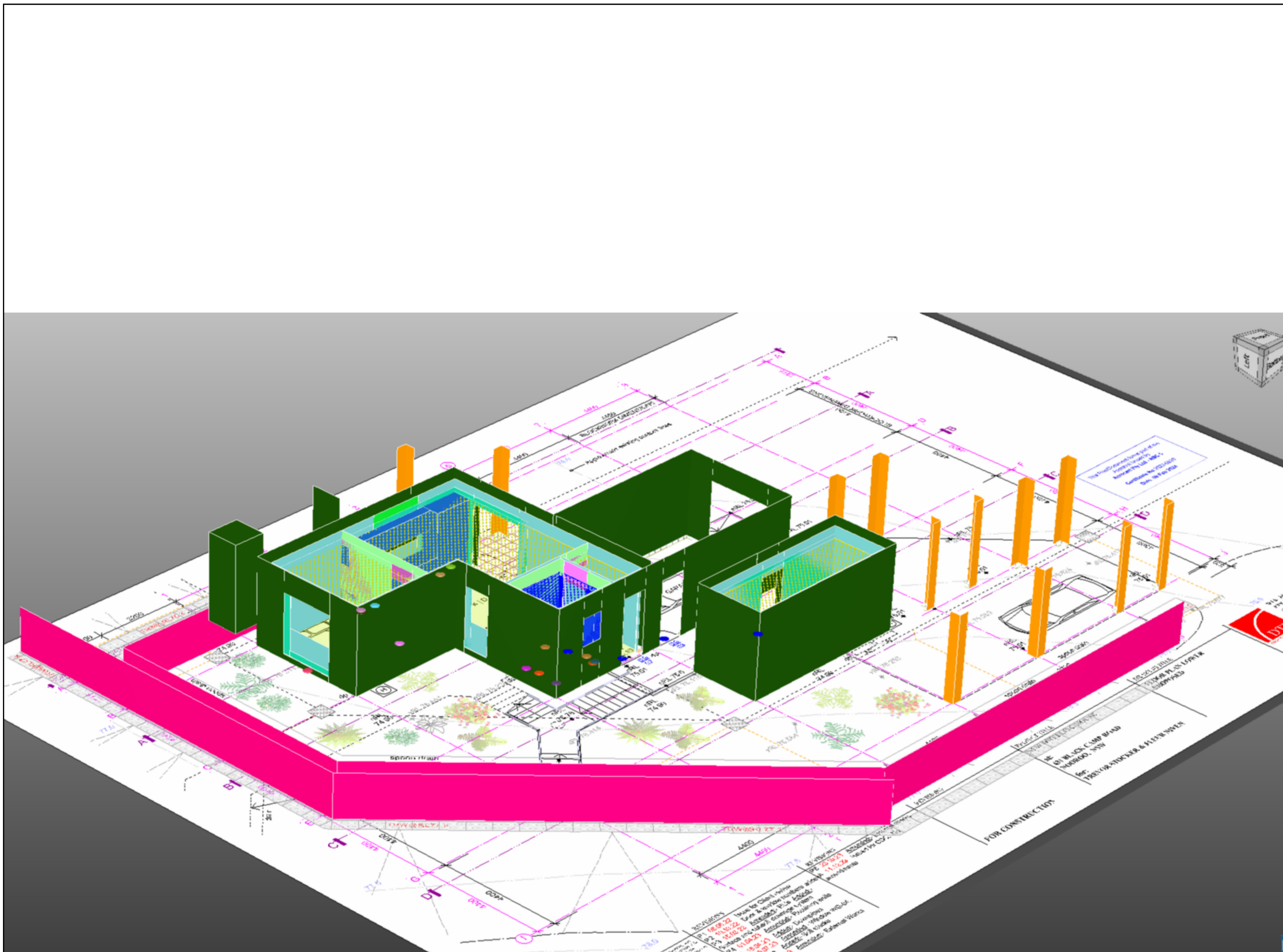
We trust that the above Estimate and information meets with your approval, however if you have any questions, or if we can be of assistance to you in any other way, please do not hesitate to contact us.

Yours faithfully,

Cormac Gray
Director

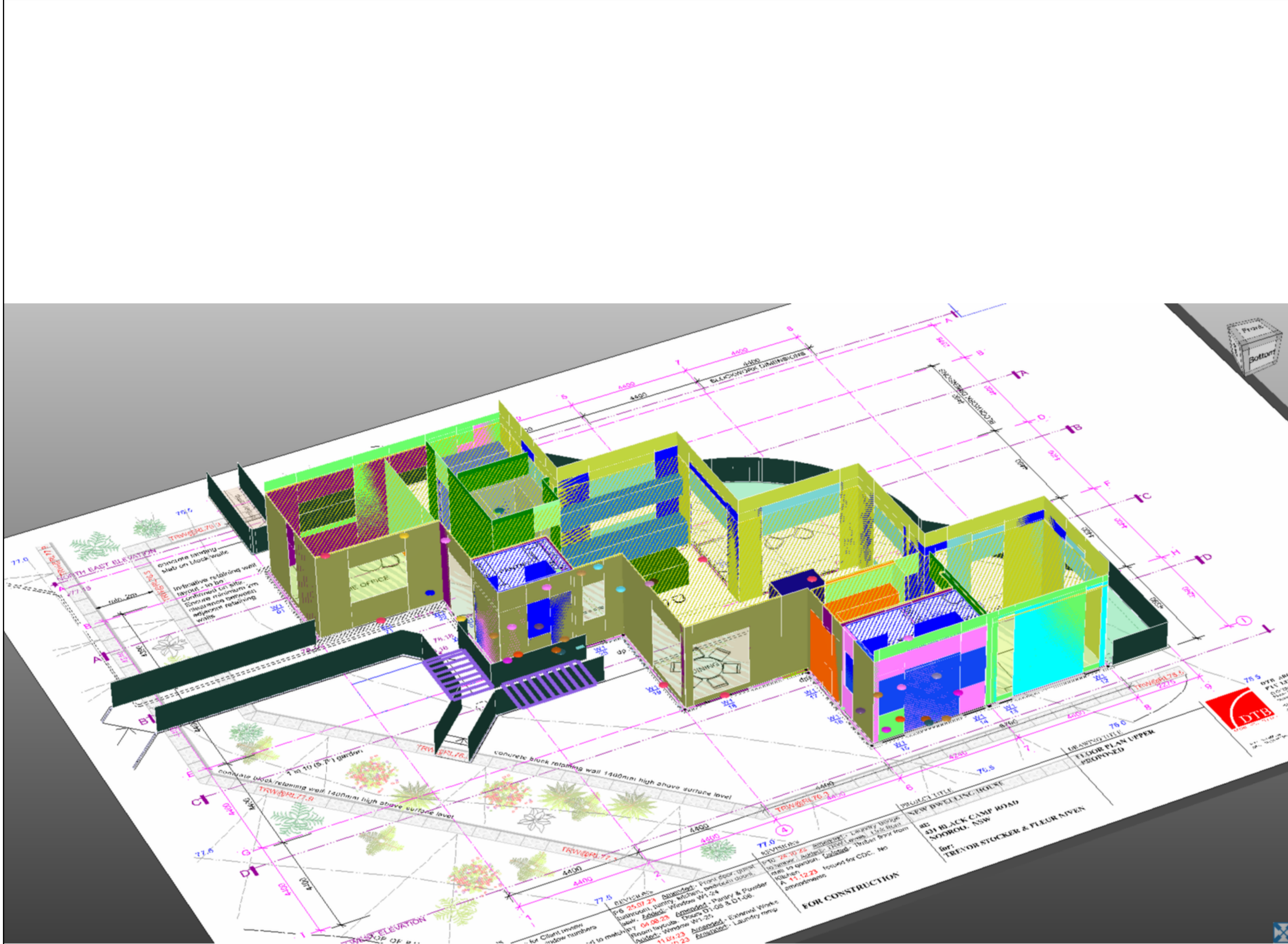


MATRIX ESTIMATING



Legend

T11 - Tanking and Waterproofing Membrane	
T11 - Floors - Bathroom	5.23 m2
T11 - Walls - Bathroom	19.56 m2
T12 - Masonry	
T12 - Conc. Block Column - 140mm	12.00 no
T12 - Conc. Block Retaining Wall	133.63 m2
T12 - Concrete Block Wall - 140mm	218.42 m2
T20 - Carpentry\01 - Structural Timber\01 - External Walls	
EW 02 - LGF - Stud Walls 150x36 Hyspan - 2.7mh	110.26 m2
T20 - Carpentry\01 - Structural Timber\01 - Internal Walls	
IW 01 - LGF - Stud Walls 150x36 Hyspan - 2.7mh	19.93 m2
T21 - Partitions	
T21 - FC Sheet @ One side - 3.0mH	25.04 m2
T21 - Plasterboard & whiteset @ Both side - 3.0mH	10.53 m2
T21 - Plasterboard & whiteset @ One side - 3.0mH	129.39 m2
T22 - Suspended Ceiling	
T22 - Moisture Resistant PB	5.23 m2
T22 - Plasterboard & whiteset	54.79 m2
T24 - Doors	
FC 03 - DR - Internal Doors - Passage lock	4.00 no
FC 05 - DR - Cavity Sliding Doors	1.00 no
T27 - Tiling, Slab and Paving	
T27 - Floors	5.21 m2
T27 - Walls	20.42 m2
T28 - Carpet and Resilient Finishes	
T28 - Carpet	42.23 m2
T29 - Painting	
T29 - Painting - External Walls	129.39 m2
T29 - Painting - Internal Walls	45.51 m2
T30 - Joinery	
T30 - Kitchen Cabinets	1.20 no
T30 - Linen	1.00 no
T30 - Robe	1.00 no
T30 - Vanity - Single	1.00 no
T31 - Furniture, Fittings and Equipment\01 - Equipment	
T31 - Bins	1.00 no
T31 - Cooktop	1.00 no
T31 - Curtains and blinds	1.00 no
T31 - Fridge	1.00 no
T31 - Rangehood	1.00 no
T31 - Washing Machine	1.00 no
T31 - Furniture, Fittings and Equipment\02 - Fittings	
T31 - Basin	1.00 no
T31 - Basin Mixer	1.00 no
T31 - Robe Hook, Towel Rail, Toilet roll holder	2.00 no
T31 - Shower	1.00 no
T31 - Shower screens	1.00 no
T31 - Toilets	1.00 no



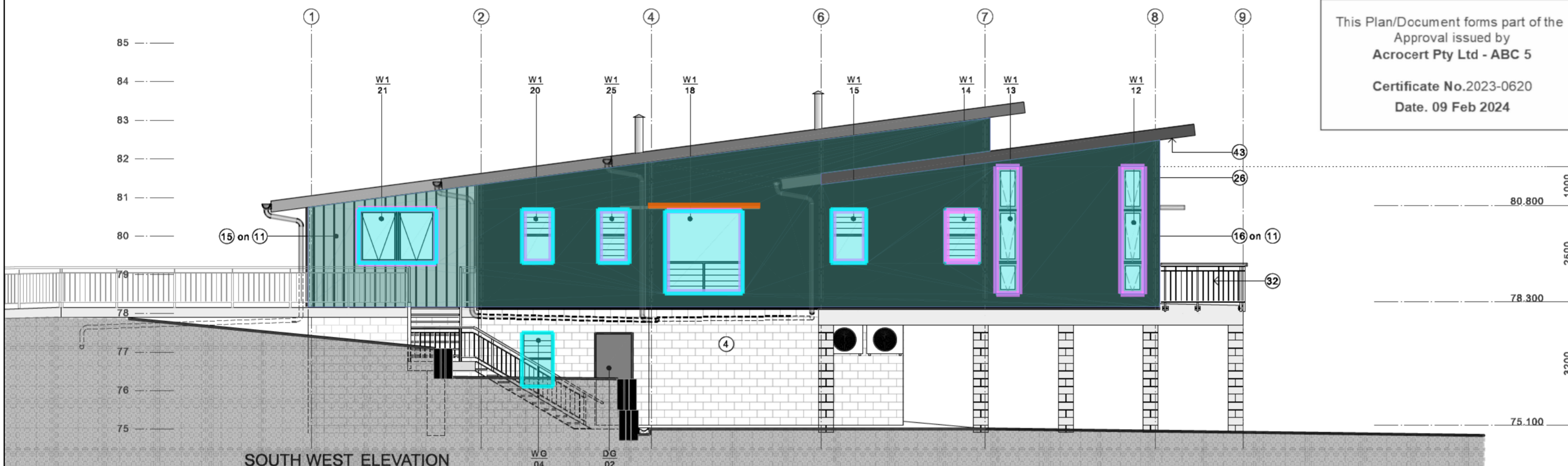
Legend

T06 - Concrete	
T06 - Conc. landing to timber ramp	1.44 m2
T11 - Tanking and Waterproofing Membrane	
T11 - Floors - Bathroom	18.44 m2
T11 - Walls - Bathroom	65.96 m2
T12 - Masonry	
T12 - Masonry to fireplace	10.27 m2
T14 - Structural Steel	
T14 - 300 PFC Stringer	47.70 m
T15 - Metalwork	
T15 - Balustrades and handrails	82.91 m
T20 - Carpentry\01 - Structural Timber\01 - External Walls	
EW 03 - FF - Stud Walls 150x36 Hyspan - 3.2mh	76.31 m2
EW 04 - FF - Stud Walls 150x36 Hyspan - 4.15mh	92.41 m2
EW 05 - BA - Stud Walls 150x36 Hyspan - 3.65mh	48.80 m2
T20 - Carpentry\04 - Stairs	
T20 - Ramps	8.40 m2
T20 - Carpentry\05 - Floor Finishes\01 - Lower Ground Floor	
FF 03 - LGF - Timber Flooring	81.54 m2
T21 - Partitions	
T21 - FC Sheet @ One side - 3.2mH	66.48 m2
T21 - Plasterboard & whiteset @ Both side - 3.2mH	21.64 m2
T21 - Plasterboard & whiteset @ Both side - 3.4mH	46.96 m2
T21 - Plasterboard & whiteset @ One side - 3.2mH	87.58 m2
T21 - Plasterboard & whiteset @ One side - 3.4mH	10.44 m2
T21 - Plasterboard & whiteset @ One side - 3.6mH	81.23 m2
T22 - Suspended Ceiling	
T22 - Moisture Resistant PB	12.82 m2
T22 - Plasterboard & whiteset	124.53 m2
T24 - Doors	
FC 01 - DR - External Doors - Fire Rated	2.00 no
FC 03 - DR - Internal Doors - Passage lock	1.00 no
FC 05 - DR - Cavity Sliding Doors	5.00 no
T27 - Tiling, Slab and Paving	
T27 - Floors	13.02 m2
T27 - Pavers to Conc. Deck	87.33 m2
T27 - Walls	47.27 m2
T28 - Carpet and Resilient Finishes	
T28 - Carpet	42.20 m2
T29 - Painting	
T29 - Painting - External Walls	178.34 m2
T29 - Painting - Internal Walls	173.25 m2
T30 - Joinery	
T30 - Kitchen Cabinets	0.80 no
T30 - Kitchen Island	1.00 no
T30 - Laundry	1.00 no
T30 - Linen	1.00 no
T30 - Pantry	1.00 no
T30 - Vanity - Single	1.00 no
T30 - WIR	2.00 no
T31 - Furniture, Fittings and Equipment\01 - Equipment	
T31 - Bins	2.00 no
T31 - Cooktop	1.00 no
T31 - Curtains and blinds	6.00 no

Legend

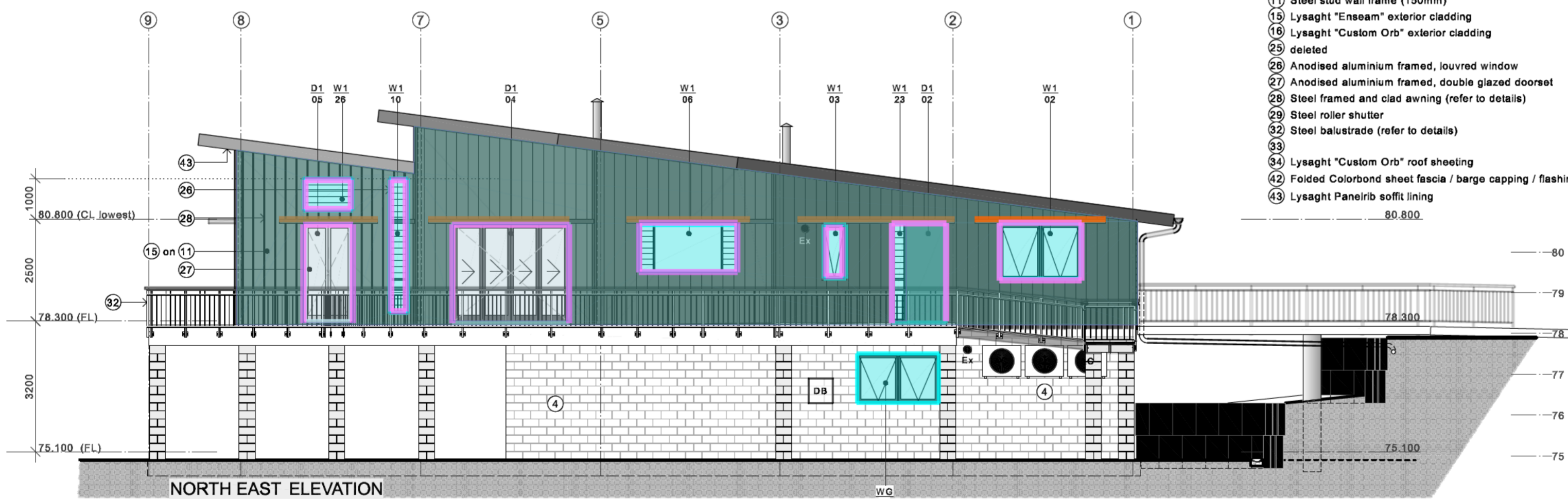
T16 - Roofing		
T16 - Window Awning	18.81 m	
T17 - Façade System\04 - Cladding\00 - External		
CL 01 - EX - Wall Battens/ Top Hats	130.73 m2	
CL 03 - EX - Cladding	130.73 m2	
CL 05 - EX - Base, Corner, Window Trims	94.96 m	
T18 - Windows		
T18 - Folding/sliding glass doors	9.66 m2	
T18 - Glass windows (Toughened)	31.36 m2	

This Plan/Document forms part of the Approval issued by Acrocort Pty Ltd - ABC 5
 Certificate No.2023-0620
 Date. 09 Feb 2024



SOUTH WEST ELEVATION

- ④ Concrete block wall (140mm) hollow
- ⑪ Steel stud wall frame (150mm)
- ⑮ Lysaght "Enseam" exterior cladding
- ⑯ Lysaght "Custom Orb" exterior cladding
- ⑲ deleted
- ⑳ Anodised aluminium framed, louvred window
- ㉑ Anodised aluminium framed, double glazed doorset
- ㉒ Steel framed and clad awning (refer to details)
- ㉓ Steel roller shutter
- ㉔ Steel balustrade (refer to details)
- ㉕
- ㉖ Lysaght "Custom Orb" roof sheeting
- ㉗ Folded Colorbond sheet fascia / barge capping / flashing
- ㉘ Lysaght Panelrib soffit lining



NORTH EAST ELEVATION

CONTRACTORS NOTE <small>The Contractor shall check all figured dimensions before commencing work. Figured dimensions shall take preference over scaling. If the Contractor is in any doubt as to the intent of any information shown or indicated on this drawing, the advice of the Architect shall be sought before commencement of work. General Note: + Retaining walls to be constructed stone cribbed. Retaining walls to remain stone solid block. New walls hatched.</small>	REVISIONS P1 08.08.22 Preliminary issue for discussion P2 10.10.22 Door & window numbers added P3 19.10.22 Door & windows amended P4 15.03.23 Amended:- External cladding, RL's. Side ramp to steel. Added:- Notes, Downpipes, Flues, Exhausts, AC units. P5 18.04.23 Amended:- Downpipes. P6 25.07.23 Amended:- Windows WG-04, W1-06, W12>W1-15 & W1-20. Doors D1-04 & D1-05. Deleted:- Kitchen hood flue	REVISIONS P7 04.08.23 Amended:- Door D1-05 & Windows W1-13, W1-14 & W1-23. Added:- Windows W1-25 & W1-26. P8 13.10.23 Amended:- Balustrading, retaining walls P9 24.10.23 Amended:- Balustrading, retaining walls A 11.12.23 Issued for CDC. No amendments.	REVISIONS	PROJECT TITLE ELEVATIONS NORTH EAST & SOUTH WEST	DRAWING TITLE ELEVATIONS NORTH EAST & SOUTH WEST	DTB ARCHITECTS PTY LTD FLOUREMILL STUDIOS Studio 104 / 2 Gladstone Street Newcastle NSW 2305 PO Box 341 Newcastle NSW 2305 p. (+61 2) 9565 5399 f. (+61 2) 9565 5499 e. chris@dtbarchitects.com.au Notified Architect Reg. No. 38062	SCALE: 1:100 @ A3 DRAWN BY: CD CHECKED BY: CD PROJECT NO: 2030 THIS ISSUE: 11.12.23 FIRST ISSUE: 08.08.22	DWG NO: 13 REVISION: A
FOR CONSTRUCTION								

Legend

T16 - Roofing		
T16 - Window Awning	17.96 m	
T17 - Façade System\04 - Cladding\00 - External		
CL 01 - EX - Wall Battens/ Top Hats	99.72 m2	
CL 03 - EX - Cladding	99.72 m2	
CL 05 - EX - Base, Corner, Window Trims	76.73 m	
T18 - Windows		
T18 - Folding/sliding glass doors	14.18 m2	
T18 - Glass windows (Toughened)	27.64 m2	
T24 - Doors		
FC 01 - DR - External Doors - Roller Shutter	5.80 m2	




NORTH WEST ELEVATION

- ④ Concrete block wall (140mm) hollow
- ⑪ Steel stud wall frame (150mm)
- ⑮ Lysaght "Enseam" exterior cladding
- ⑰ Lysaght "Custom Orb" exterior cladding
- ⑲ deleted
- ⑳ Anodised aluminium framed, louvred window
- ㉑ Anodised aluminium framed, double glazed doorset
- ㉒ Steel framed and clad awning (refer to details)
- ㉓ Steel roller shutter
- ㉔ Steel balustrade (refer to details)
- ㉕ Steel balustrade with timber top rail (refer to details)
- ㉖ Lysaght "Custom Orb" roof sheeting
- ㉗ Folded Colorbond sheet fascia / barge capping / flashing
- ㉘ Lysaght Panelrib soffit lining



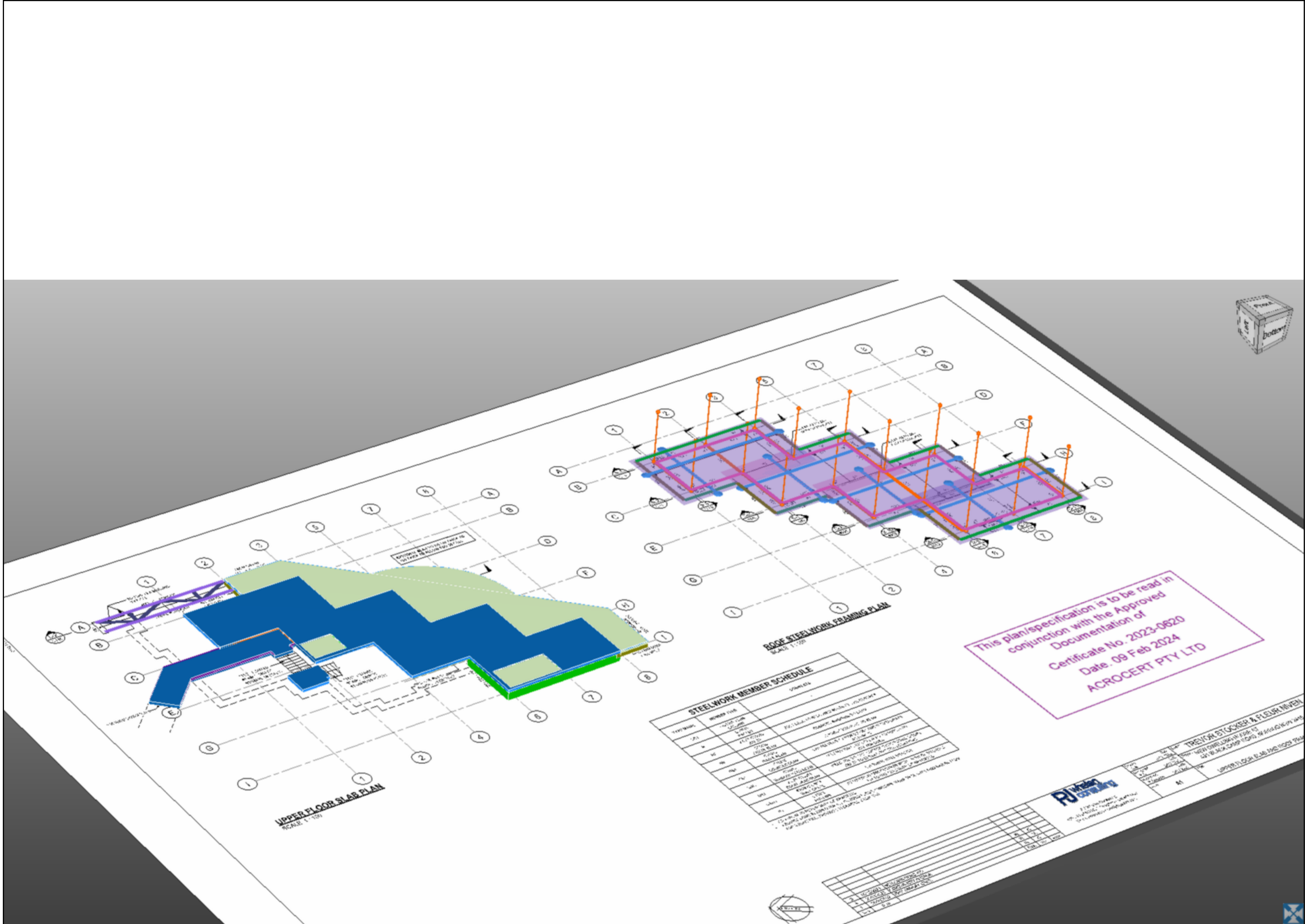
SOUTH EAST ELEVATION

<p>CONTRACTORS NOTE</p> <p>The Contractor shall check all signed dimensions before commencing work. Figure dimensions shall take precedence over marking. If the Contractor is in any doubt as to the intent of any information shown or indicated on this drawing, the advice of the Architect shall be sought before commencement of work.</p> <p>General Note: - Fixing nails to be described where noted. Fixing nails to remain above solid block. New nails hatched.</p> <p>© 2018 DTB Architects Pty Ltd</p>	<p>REVISIONS</p> <p>P1 08.08.22 Preliminary issue for discussion</p> <p>P2 10.10.22 Door & window numbers added</p> <p>P3 19.10.22 Door & windows amended</p> <p>P4 15.03.23 Amended:- External cladding.</p> <p>RL's. Side ramp to steel. Added:- Notes. Downpipes. Flues. Exhausts. AC units.</p> <p>PS 18.04.23 Amended:- Downpipes.</p> <p>PS 25.07.23 Amended:- Windows, front door, bedroom door, stair. Added:- Window W1-24. Fireplace flue.</p>	<p>REVISIONS</p> <p>P7 04.08.23 Amended:- Door D1-06 and Window W1-11.</p> <p>P8 13.10.23 Amended:- Balustrading, retaining walls</p> <p>P9 24.10.23 Amended:- Laundry ramp, retaining walls</p> <p>A 11.12.23 issued for CDC. No amendments.</p>	<p>REVISIONS</p> <p>FOR CONSTRUCTION</p>	<p>PROJECT TITLE</p> <p>ELEVATIONS SOUTH EAST & NORTH WEST</p>	<p>DRAWING TITLE</p> <p>ELEVATIONS SOUTH EAST & NORTH WEST</p>	 <p>DTB ARCHITECTS PTY LTD FLOURELLE STUDIOS Studio 124 / 5 Chadstone Street Newawa NSW 2042</p> <p>PO Box 341 Newawa NSW 2042 p: (+61) 2 9463 3388 f: (+61) 2 9463 4188 e: ekr@dtbarchitects.com.au</p> <p>Not a Licensed Architect Holds an Exemption Reg. No. 4925</p>	<p>SCALE: 1:100 @ A3</p> <p>DRAWN BY: CD</p> <p>CHECKED BY: CD</p> <p>PROJECT NO: 2030</p> <p>THIS ISSUE: 11.12.23</p> <p>FIRST ISSUE: 08.08.22</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">DWD NO:</td> <td style="text-align: center;">14</td> </tr> <tr> <td style="text-align: center;">REVISION:</td> <td style="text-align: center;">A</td> </tr> </table>	DWD NO:	14	REVISION:	A
DWD NO:	14											
REVISION:	A											



Legend

T04 - Groundworks\01 - Excavation	
T04 - Excavate footings	17.79 m3
T04 - Pier holes	24.00 no
T04 - Groundworks\03 - Membranes	
T04 - Breathable membranes	133.20 m2
T06 - Concrete	
T06 - 125 SOG - Slab on ground	1.14 m3
T06 - 140 SOG - Slab on ground	17.74 m3
T06 - 300x300 Deep Edge Thickening	0.76 m3
T06 - C1 - Column 400dia	2.00 no
T06 - FB1 - Footing Beam 400x400	11.96 m3
T06 - PF1 - Pad Footing - 1200x1200x400	1.16 m3
T07 - Formworks	
T07 - Faces of walls	58.14 m2
T07 - Slab Edges	62.35 m
T12 - Masonry	
T12 - P1 - Masonry Pier - 500x500	3.00 no
T12 - P2 - Masonry Pier - 600x600	8.00 no



Legend

- T06 - Concrete
- T06 - 150 - Suspension slab 15.78 m3
- T06 - 200 - Suspension slab 33.95 m3
- T06 - 450x400 - Edge Beam 4.16 m3
- T06 - 600x400 - Edge Beam 3.09 m3
- T06 - Step down - 120mm 41.46 m
- T06 - Step down - 50mm 20.44 m
- T07 - Formworks
- T07 - Sides of Ramps 18.25 m
- T07 - Slab Edges 79.39 m
- T07 - Suspended slab 252.55 m2
- T14 - Structural Steel
- T14 - 300 PFC Stringer 19.27 m
- T14 - 75x75x6.0 - Bracing 12.84 m
- T14 - SC1 - 89x89x5.0 SHS Column 72.00 m
- T20 - Carpentry\06 - Roofing\00 - Rafters
- RO 01 - RA - R2 - 150 x 45 LVLs @ 450 Cts 755.83 m
- RO 07 - RA - P1 - Roof Battens 595.67 m
- T20 - Carpentry\06 - Roofing\01 - Structural Beams
- RO 01 - ST - EB1 - Eaves Beam 37.74 m
- RO 02 - ST - GB1 - GB1 47.79 m
- RO 03 - ST - CB1 - Counter Beam 43.21 m
- RO 07 - ST - WH1 - Timber Lintels 77.75 m